

# WEILL CORNELL MEDICINE

## FAÇADE REPAIRS & CLEANING - PHASE III

### 1300 YORK AVENUE, NEW YORK, NY 10065

BLOCK: 1480 / LOT: 1  
 BUILDING: A & HARKNESS  
 WCM PROJECT # 18-002



ARCHITECT  
**ARCHITECTURAL PRESERVATION STUDIO, DPC**  
 485 Madison Avenue, New York, NY 10022-3221  
 TEL: 212.771.1100 FAX: 212.771.1101

OWNER  
**Weill Cornell Medicine**  
 WEILL CORNELL MEDICAL COLLEGE  
 445 EAST 69TH STREET, OLIN HALL, SUITE 300  
 NEW YORK, NY 10021

LOCATION PLAN  
 TAX BLOCK: 1480 LOT: 1  
 NYC DOB BIN 1064784 AND 1084785

1	GENERAL NOTES	2	TENANT SAFETY NOTES	3	BUILDING DEPARTMENT NOTES	4	DRAWING LIST
---	---------------	---	---------------------	---	---------------------------	---	--------------

THE FOLLOWING NOTES SHALL APPLY THROUGHOUT. EXCEPTIONS ARE SPECIFICALLY NOTED ON EACH DRAWING.

- THE OWNER OF THE PROJECT SHALL MEAN WEILL CORNELL MEDICINE (WCM). WCM, WEILL CORNELL MEDICAL COLLEGE, AND CORNELL UNIVERSITY SHALL BE USED INTERCHANGEABLY ACROSS ALL CONTRACT DOCUMENTS.
- THE WORK SHALL BE IN CONFORMANCE WITH THE APPLICABLE CODES, AS WELL AS ALL AGENCIES HAVING JURISDICTION. ALL PERMITS WILL BE SECURED BY AND AT THE EXPENSE OF THE CONTRACTOR. WHO SHALL GIVE ALL NOTICES REQUIRED BY LAW. NO WORK SHALL START UNTIL NECESSARY PERMITS ARE ISSUED.
- THE CONTRACTOR SHALL VISIT THE PROJECT SITE TO FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AND TO VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING BUILDING AND SITE. IN CASE OF DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND ACTUAL FIELD CONDITIONS, THEY SHALL BE REPORTED TO THE ARCHITECT. IN WRITING. FOR CORRECTION. WORK PERFORMED AFTER THE DISCOVERY OF A DISCREPANCY AND PRIOR TO RECEIPT OF WRITTEN APPROVAL FOR CORRECTION SHALL BE AT THE CONTRACTOR'S RISK. NO ADDITIONAL COST WILL BE ADDED TO THE PROJECT DUE TO CONTRACTOR'S OVERSIGHT IN VERIFICATION OF EXISTING CONDITIONS.
- THE CONTRACTOR SHALL COOPERATE WITH ANY OTHER CONTRACTORS AND SHALL PERFORM HIS WORK AT SUCH A TIME AND IN SUCH A MANNER AS NOT TO DELAY OR INTERFERE WITH THE CARRYING FORWARD OF THE WORK OF OTHER CONTRACTORS.
- THE CONTRACTOR AND SUBCONTRACTORS SHALL CONSULT AND STUDY THE CONTRACT DOCUMENTS TO DETERMINE HOW THEIR WORK IS AFFECTED UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL PERFORM THE WORK SO THAT A MINIMUM OF DISRUPTION IS CAUSED TO THOSE PORTIONS OF THE BUILDING WHERE THERE IS NO WORK.
- ACCESS TO ALL AREAS OF THE BUILDING SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE. TWO WEEKS PRIOR NOTICE SHALL BE REQUIRED BEFORE ALTERATION OF ACCESS TO ANY AREAS.
- CONSTRUCTION OPERATIONS SHALL BE COORDINATED AT ALL TIMES WITH THE OWNER.
- ALL BUILDING EXITS SHALL BE KEPT READILY ACCESSIBLE AND UNOBSTRUCTED AT ALL TIMES.
- THE CONTRACTOR SHALL COORDINATE, SCHEDULE, AND EFFECT ANY REQUIRED UTILITY SHUTDOWNS IN COORDINATION WITH THE OWNER. TWO WEEKS PRIOR NOTICE SHALL BE REQUIRED.
- FIRE PREVENTION APPLICATIONS WILL BE FILED IF REQUIRED FOR ALL INSTALLATIONS.
- WHERE WORK REQUIRES SHUTDOWN OF UTILITIES OR MAJOR

TENANT PROTECTION PLAN [BC 28-104.8.4]

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NEW YORK CITY BUILDING CODE AND WITH ALL REGULATIONS OF ANY OTHER AGENCY HAVING JURISDICTION.
- OCCUPANCY: THE BUILDING IS A PUBLIC FACILITY AND INSTITUTION BUILDING AND WILL BE CONTINUOUSLY OCCUPIED.
- CONSTRUCTION WORK WILL BE CONFINED TO WORK AREAS AND WILL NOT CREATE DUST, ODOR AND OTHER SUCH INCONVENIENCES TO ROOMS WITHIN THE BUILDINGS.
- CONSTRUCTION WILL NOT BLOCK THE PLATFORM, CORRIDORS AND MEANS OF EGRESS FOR THE PUBLIC USING THE BUILDING.
- CONSTRUCTION OPERATIONS WILL BE CONFINED TO NORMAL WORKING HOURS: 8:30 AM - 5:30 PM (NOISE: 9:00 AM - 5:00 PM). MONDAY THROUGH FRIDAY, EXCEPT LEGAL HOLIDAYS AND AS DIRECTED BY OWNER.
- REMOVALS - ALL DEBRIS AND PRODUCTS OF REMOVALS NOT DESIGNATED FOR REUSE SHALL BE REMOVED FROM THE PREMISES DAILY AND LEGALLY DISPOSED OFF.
- THE SITE SHALL BE LEFT BROOM CLEAN DAILY AT THE END OF EVERY WORKING DAY.
- EGRESS: ALL EXISTING MEANS OF EGRESS FROM THE BUILDING SHALL BE MAINTAINED CLEAR AND FREE OF ALL OBSTRUCTIONS, SUCH AS BUILDING MATERIALS, TOOLS, ETC.
- FIRE SAFETY: THE INTEGRITY OF ALL EXISTING FIREPROOFING SHALL BE MAINTAINED.
- ALL FLAMMABLE MATERIALS SHALL BE KEPT TIGHTLY SEALED IN THEIR RESPECTIVE MANUFACTURER'S CONTAINERS. SUCH MATERIALS SHALL BE KEPT AWAY FROM HEAT AND SHALL BE USED AND STORED IN AN ADEQUATELY VENTILATED SPACE OR FIRE CABINET.
- ALL ELECTRICAL POWER SHALL BE SHUT-OFF WHERE THERE IS EXPOSED CONDUIT BY LICENSED ELECTRICIAN AND RESTORED AT THE END OF WORK.
- ALL ELECTRICAL POWER IN THE CONSTRUCTION AREA SHALL BE SHUT-OFF AFTER WORKING HOURS.
- THE CONTRACTOR SHALL MAKE SURE THERE IS NO LEAKAGE OF ANY FLAMMABLE GAS USED IN CONSTRUCTION.
- ALL BUILDING MATERIALS STORED AT THE CONSTRUCTION AREA, AND/OR IN ANY AREA OF THE BUILDING, ARE TO BE SECURED IN A LOCKED AREA. ACCESS TO SUCH AREAS SHALL BE CONTROLLED BY OWNER AND/OR GENERAL CONTRACTOR. LOCATION DESIGNATED BY OWNER.
- HEALTH REQUIREMENTS: CONSTRUCTION OPERATIONS SHALL NOT INVOLVE INTERRUPTION OF HEATING, WATER OR ELECTRICAL SERVICES TO OTHER TENANTS OF THE BUILDING WITHOUT PRIOR NOTICE.
- DUST CONTROL: DEBRIS DUST AND DIRT SHALL BE KEPT TO A MINIMUM AND BE CONFINED TO THE IMMEDIATE CONSTRUCTION AREA AND SHALL BE CLEARED FROM THE BUILDING PERIODICALLY TO AVOID EXCESSIVE ACCUMULATION. PROVIDE PROPER MITIGATION.
- CONTRACTOR SHALL ISOLATE THE CONSTRUCTION AREA FROM OCCUPIED BUILDING AREAS BY MEANS OF TEMPORARY PARTITIONS OR HEAVY DROP CLOTHS.

BUILDING DEPARTMENT NOTES

- ALL WORK SHALL COMPLY WITH THE 1968 NYC BUILDING CODE, 2014 NYC BC FOR ACCESSIBILITY, 2014 NYC FIRE CODE AND 2016 NYC ENERGY CODE.
- SPECIAL PRECAUTIONS SHALL BE TAKEN BY THE CONTRACTOR TO ENSURE THAT THE WORK, INCLUDING ALL MATERIALS AND INSTALLATION, SHALL NOT AFFECT THE FOLLOWING:
  - TENANT EGRESS TO AND FROM THE BUILDING.
  - FIRE SAFETY, OR THE CREATION OF A FIRE HAZARD.
  - STRUCTURAL SAFETY OF THE BUILDINGS.
  - THE CONTRACTOR SHALL LEAVE THE WORK SITE BROOM CLEAN EACH DAY TO PREVENT THE ACCUMULATION OF DUST AND DEBRIS.
  - THERE SHALL BE NO NOISY WORK OUTSIDE THE NORMAL HOURS OF 8:00 AM TO 5:00 PM.
  - ELECTRICITY, GAS, WATER AND ANY OTHER UTILITIES WILL NOT BE INTERRUPTED DURING CONSTRUCTION.
- ALL MATERIALS, ASSEMBLIES, FORMS, AND METHODS OF CONSTRUCTION, SHALL COME UNDER THE PROVISIONS OF THE NYC BUILDING CODE.
- ALL SERVICE EQUIPMENT AND MACHINERY AND DEVICES USED IN CONNECTION WITH THE WORK OF THIS CONTRACT, WHICH IN THEIR USE, COME UNDER THE PROVISIONS OF THE CODE, SHALL COMPLY WITH APPLICABLE SECTION(S). CONTRACTOR SHALL SECURE ALL INSPECTIONS, INSURANCE AND PERMITS FOR THE EQUIPMENT OPERATED ON THE JOB SITE IN CONNECTION WITH THIS CONTRACT.
- THE BUILDING AND THE WORK UNDER THIS CONTRACT AND ANY SERVICE EQUIPMENT THAT IS PART OF THE CARRYING OUT OF THE WORK OF THIS CONTRACT SHALL BE OPEN AND AVAILABLE FOR INSPECTION BY THE COMMISSIONER OR ITS REPRESENTATIVES AT ALL TIMES.
- ALL MATERIAL HANDLING AND HOISTING EQUIPMENT SHALL CONFORM WITH APPLICABLE SECTION OF THE NYC BUILDING CODE, AND SHALL BE OPERATED AND MAINTAINED SO AS TO PREVENT HARM TO THE PUBLIC OR PROPERTY.
- ALL TEMPORARY FACILITIES NEEDED IN THE CARRYING OUT OF THE WORK SHALL CONFORM TO THE NYC BUILDING CODE.
- ALL EXITS FROM THE BUILDINGS SHALL BE KEPT READILY ACCESSIBLE AND UNOBSTRUCTED AT ALL TIMES. NO LOOSE OBJECTS SHALL BE LEFT ON SCAFFOLDING. THE BUILDINGS ARE OCCUPIED 24 HOURS A DAY.
- NO CHANGE TO EGRESS, OCCUPANCY, ZONING OR USE UNDER THIS APPLICATION.
- FIRE PROTECTION - INSTALLATION OF ALL REQUIRED FIRE STOPPING SHALL COMPLY WITH SECTION C26-504.7G (IF APPLICABLE).
- SPECIAL AND PROGRESS INSPECTIONS AS REQUIRED BY THE NEW YORK CITY BUILDING CODE SHALL BE PERFORMED BY THE ARCHITECT FOR THE FOLLOWING ITEMS: SEE ATTACHED SCHEDULE ON SHEET T-002.00
- ENERGY CODE COMPLIANCE PROGRESS INSPECTIONS AS REQUIRED BY THE NYC EEC AND MANDATED BY SECTION BC 109.3.5 AND 1609.1.1 SHALL BE PERFORMED BY THE ARCHITECT FOR THE FOLLOWING ITEMS:
  - AIR SEALING AND INSULATION - VISUAL (I&B)
- NO OTHER ENERGY CODE COMPLIANCE PROGRESS INSPECTIONS ARE REQUIRED FOR THIS CONTRACT'S SCOPE OF WORK.

LIST OF DRAWINGS

1.	T-001.00	TITLE SHEET, GENERAL NOTES, AND LOCATION MAP
2.	T-002.00	SCOPE OF WORK, ALLOWANCES, SPECIAL INSPECTIONS & NOTES
3.	T-003.00	REPAIR LEGEND AND SITE PLAN
4.	A-101.00	ROOF PLAN
5.	A-201.00	WEST FAÇADE ELEVATION
6.	A-202.00	EAST FAÇADE ELEVATION
7.	A-203.00	NORTH FAÇADE, PART FAÇADE & INBOARD PARAPET ELEVATIONS
8.	A-401.00	DETAILS 1
9.	A-402.00	DETAILS 2
10.	A-401.00	DETAILS 3
11.	A-402.00	DETAILS 4

5 FEMA FLOOD INFORMATION

THIS SITE IS NOT WITHIN A "SPECIAL FLOOD ZONE AREA."

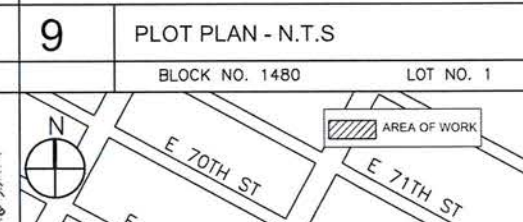
6 GENERAL CONDITIONS

SEE THE PROJECT MANUAL FOR WCM GENERAL CONDITIONS AND GENERAL REQUIREMENTS.

- SEQUENCE OF CONSTRUCTION: THE SCOPE OF WORK SHOWN IN REFERENCE DRAWINGS AND RELATED CONTRACT DOCUMENTS SHALL BE EXECUTED IN ACCORDANCE TO THE FOLLOWING SEQUENCE OF CONSTRUCTION:
  - ALL WORK RELATED TO REMOVALS.
- CONTRACTOR SHALL PROVIDE A FINAL SITE LOGISTIC PLAN INCLUDING FALL PROTECTION AND SITE SAFETY MANAGEMENT WITHIN 15 DAYS OF CONTRACT AWARD. PLAN SHALL INCLUDE THE FOLLOWING:
  - METHOD FOR SELECTIVE REMOVALS AND REMOVAL.
  - ACCESS AREA AND HOISTING PLAN AND LOCATIONS.
  - MATERIAL STORAGE PLAN.

8 ZONING INFORMATION

ZONING DISTRICT: R10, R9  
 ZONING MAP: 9a



7 ENERGY ANALYSIS

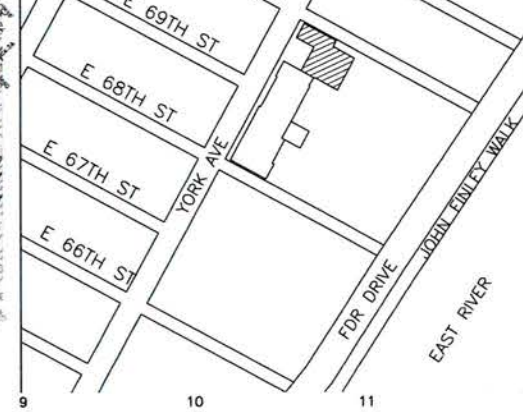
ALT - 2 COMMERCIAL: CLIMATE ZONE 4A

NYC ECC TABULAR ANALYSIS:

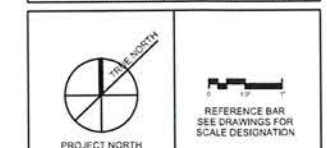
ITEM DESCRIPTION	PROPOSED DESIGN VALUE	CODE-PREScriptive VALUE AND CITATION	SUPPORTING DOCUMENTATION	PROGRESS INSPECTION
FAÇADE REPAIR, LINTEL REPLACEMENT, BACKER ROD AND SEALANT INSTALLATION	SEALING ALL OPENINGS AND PENETRATIONS AS PRESCRIBED IN ECC C402.4: AIR LEAKAGE	ALL OPENINGS AND PENETRATIONS SHALL BE SEALED WITH CAULKING, GASKETING, WEATHERSTRIPPING OR OTHER MATERIALS IN ACCORDANCE WITH REQUIREMENTS OF ECC SECTION C402.4.1 THROUGH C402.4.8 (BUILDING THERMAL ENVELOPE).	A-402.0 SEALANT INSTALLATION DETAILS AND NOTES	I&B: AIR SEALING - VISUAL INSPECTION OF OPENINGS AND PENETRATIONS IN THE BUILDING ENVELOPE TO VERIFY THAT THEY ARE PROPERLY SEALED, IN ACCORDANCE WITH ECC SECTION C402.4: AIR LEAKAGE AND APPROVED DRAWINGS.

TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THIS APPLICATION IS IN COMPLIANCE WITH THE ECC NYC 2016.

THIS APPLICATION IS AN EXCEPTION. THE SCOPE OF WORK DOES NOT AFFECT THE ENERGY USE OF THE BUILDING



4	DOB FILING SET	04.23.2018
3	DOB CLIENT REVIEW (2)	04.03.2018
2	DOB CLIENT REVIEW	03.20.2018
1	BD SET	07.05.2017



PROJECT  
 FAÇADE REPAIRS AND CLEANING - 1300 YORK AVE. PHASE III - A & HARKNESS

1300 YORK AVENUE, NEW YORK, NY 10065  
 WCM PROJECT #18-002

DRAWING NAME  
**TITLE SHEET**  
 GENERAL NOTES  
 LOCATION MAP

DATE:	04.03.2018
DATE PROJECT START:	01/15/2018
SCALE:	AS NOTED
DRAWN BY:	LYVJ
CHECKED BY:	PJGE
DATE:	
SCALE:	
DATE:	

T-001.00  
 1 OF 11

COPYRIGHT © 2018, ARCHITECTURAL PRESERVATION STUDIO, DPC. ALL RIGHTS RESERVED

TDD: 4/27/2018 12:16 PM BY: FILE NAME: I:\01\_projects\01\_architectural\_preservation\studio\18-002-1300\_york\_ave\18-002\_phase\_iii\_t-001.dwg

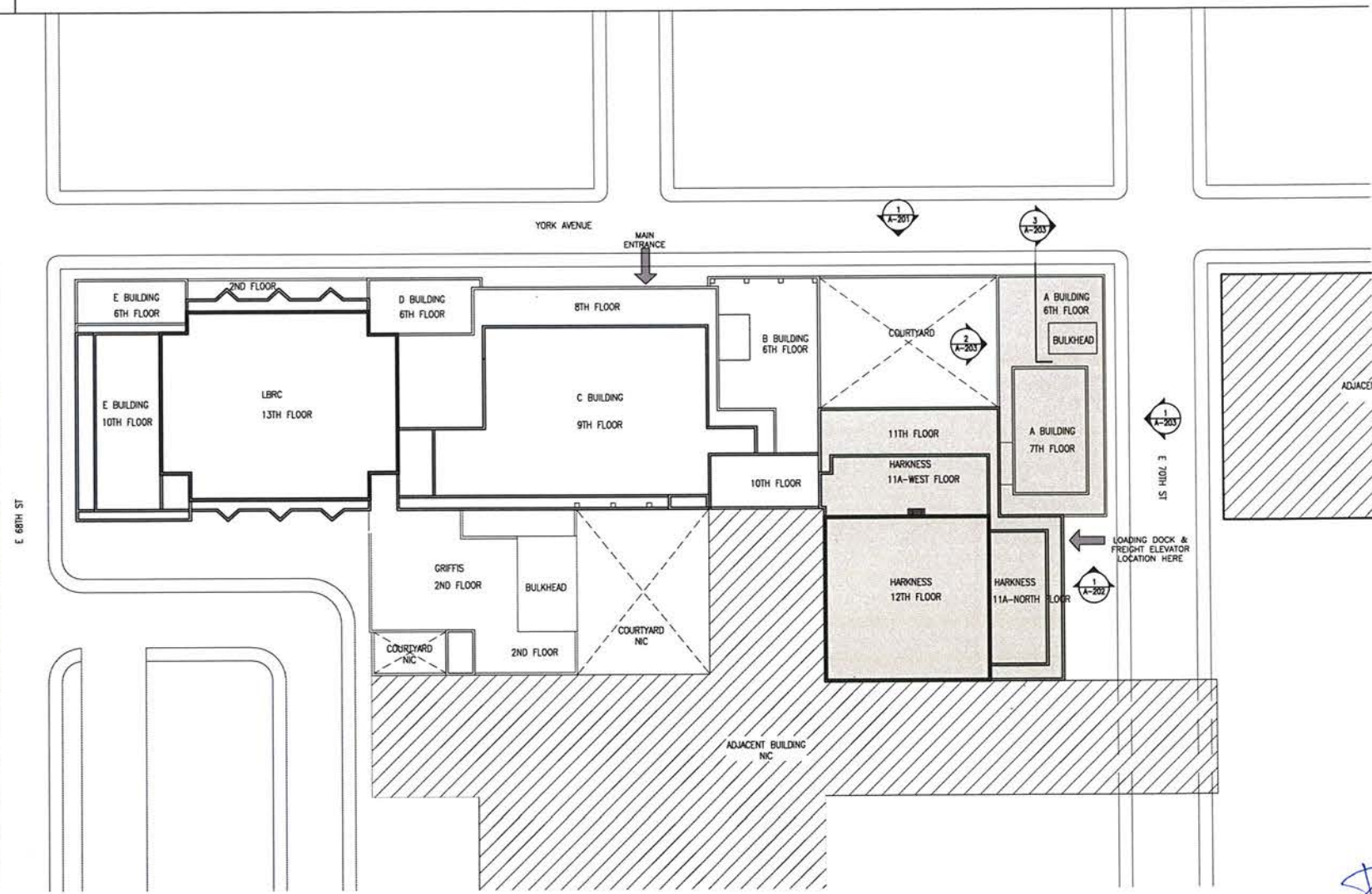


T  
S  
R  
Q  
P  
O  
N  
M  
L  
K  
J  
I  
H  
G  
F  
E  
D  
C  
B  
A

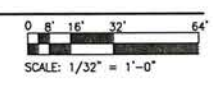
REPAIR LEGEND

TAG	SYMBOL	DESCRIPTION	DETAIL
BPT01		BRICK RE-POINTING: RAKE OUT AND RE-POINT MORTAR JOINTS TO MATCH EXISTING.	1/A-401
MRM01		BRICK MASONRY REPLACEMENT (MULTIPLE WYTHES): REMOVE DETEIORATED MASONRY. REBUILD MASONRY TO MATCH EXISTING.	2/A-401
BCM01		BRICK CRACK REPAIR (MULTIPLE WYTHES): REMOVE MASONRY AROUND EXISTING CRACK. REBUILD MASONRY TO MATCH EXISTING.	2/A-401
SRP01		STONE RE-POINTING: RAKE OUT AND RE-POINT MORTAR JOINTS TO MATCH EXISTING.	1/A-402
SPA01		STONE SPALL REPAIR: REMOVE DELAMINATED STONE SURFACE UNTIL SOUND MATERIAL IS REACHED. DOVETAIL CUT PERIMETER AND PREPARE SUBSTRATE. INSTALL S.S. PINS AND PROVIDE TROWEL-APPLIED PATCHING COMPOUND TO MATCH EXISTING.	3/A-402
SPA02		STONE REPLACEMENT: REPLACE STONE UNIT/PANEL WITH NEW TO MATCH EXISTING.	1/A-405
SCR01		CRACK REPAIR (STITCHING/INJECTION): REPAIR EXISTING STONE CRACKS OR HAIRLINE CRACKS AS PER DETAIL TO MATCH EXISTING ADJACENT UNDISTURBED SURFACE.	2/A-402 4/A-402
SEA01		SEALANT JOINT REPLACEMENT: REMOVE EXISTING JOINT SEALER(S). PREPARE JOINT CAVITY AND PROVIDE NEW BACKER ROD AND SEALANT.	2/A-403
SEA02		SEALANT JOINT REPLACEMENT AT WINDOW METAL PANELS: REMOVE 100% EXISTING JOINT SEALER(S) AT METAL WINDOW PANELS. PREPARE JOINT CAVITY AND PROVIDE NEW BACKER ROD AND SEALANT.	2/A-403
EXP01		EXPANSION JOINT PROVISION: INSTALL NEW S.S. JOINT STABILIZER EVERY 6 COURSES AT EACH WYTHE OF REBUILT MASONRY. PROVIDE AND INSTALL PRE-COMPRESSED SEALANT SYSTEM.	1/A-404 2/A-404
WMR01		WINDOW MULLION REPAIR: INSPECT AND REATTACH LOOSE MULLIONS AT EXISTING WINDOWS WITH ADHESIVE SEALANT. REPLACE MULLION TO MATCH EXISTING IF MISSING.	
WMR02		NEW WINDOW MULLION: PROVIDE NEW WINDOW MULLION TO MATCH EXISTING WHERE EXISTING IS MISSING OR DAMAGED. FOLLOW MANUFACTURER'S INSTRUCTIONS FOR MECHANICAL ANCHORING.	
FLS01		FLASHING REPAIR: PROVIDE MISSING FLASHING TO MATCH EXISTING.	
LIN02		WINDOW/DOOR LINTEL REPAIR: PREPARE, PRIME AND PAINT EXPOSED SURFACE OF THE LINTEL WITH EPOXY PAINT; PAINT COLOR TO MATCH EXISTING.	3/A-401
LIN03		WINDOW/DOOR LINTEL REPLACEMENT: REMOVE EXISTING MASONRY AND WATERPROOFING MEMBRANE WHERE INDICATED ON DWGS TO EXPOSE CONCEALED STEEL LINTEL. TEST FOR ACM. REPLACE SEVERELY DETEIORATED STEEL LINTEL. PROVIDE NEW WATERPROOFING MEMBRANE AND REBUILD MASONRY TO MATCH EXISTING.	4/A-401
SAW01		SHELF ANGLE REPAIR: REMOVE EXISTING MASONRY AND WATERPROOFING MEMBRANE TO EXPOSE CONCEALED STEEL SHELF ANGLE. TEST FOR ACM. PREPARE, PRIME AND PAINT ALL STEEL MEMBERS. REBUILD MASONRY WITH ASSOCIATED FLASHING AND WATERPROOFING.	1/A-403 3/A-403
ANC01		ANCHOR REMOVAL: REMOVE EXISTING BRICK UNIT WITH NON-FUNCTIONING ANCHOR AND REPLACE WITH NEW UNIT TO MATCH EXISTING AND/OR RE-POINT TO MATCH EXISTING.	
STC01		STEEL COATING PROVISION: PREPARE, PRIME AND PAINT DETEIORATED STEEL COATING WITH EPOXY PAINT; PAINT COLOR TO MATCH EXISTING.	
STR01		ANGLE DRIP EDGE REPAIR: REATTACH LOOSE ANGLE DRIP EDGE AT UNDERSIDE OF EXISTING STEEL TO REMAIN. USE SELF CAPPING FASTENERS.	
BCR01		BRACKET REPLACEMENT: REPLACE MISSING OR DETEIORATED BRACKETS WITH NEW STAINLESS STEEL BRACKETS AT ELECTRICAL CONDUIT OR DUCT. PROFILE TO MATCH EXISTING.	
NRL01		NEW RAILING INSTALLATION: INSTALL NEW RAILINGS WHERE INDICATED ON DRAWINGS.	3/A-404, TYPE 1 4/A-404, TYPE 2
RRL01		REMOVE RAILING: REMOVE EXISTING RAILING. PATCH TO MATCH EXISTING UNDISTURBED WORK.	
RWF01		REMOVE FRAME: REMOVE ABANDONED DOOR FRAME, INFILL WITH NEW BRICK MASONRY AND CONT. WATERPROOFING (COORDINATE W/ OWNER FOR INTERIOR COORDINATION). SCRAPE, PRIME AND PAINT ALL STEEL MEMBERS.	
GLZ01		GLAZING INSTALLATION: PROVIDE MISSING WINDOW GLASS TO MATCH EXISTING WHERE INDICATED ON DRAWINGS. (CLEAR OR SPANDREL TYPE)	

SITE PLAN



1 SITE PLAN - PHASE THREE  
SCALE: 1/32" = 1'-0"



LEGEND  
BUILDINGS & ASSOCIATED ELEVATIONS INCLUDED IN SCOPE OF WORK FOR FACADE REPAIR & MASONRY CLEANING (INCLUDING INBOARD PARAPET). ALL OTHER AREAS WILL HAVE WORK FILED UNDER SEPARATE APPLICATION.

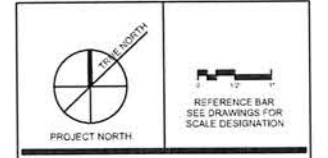
ARCHITECT  
**ARCHITECTURAL PRESERVATION STUDIO, DPC**  
Professional Architectural Preservation & Building Envelope Consulting  
316 Madison Ave, 11th Floor, New York, NY 10017  
212.277.7100 | info@apstudio.com

OWNER  
**Weill Cornell Medicine**  
WEILL CORNELL MEDICAL COLLEGE  
445 EAST 69TH STREET, OLIN HALL, SUITE 300  
NEW YORK, NY 10021

LOCATION PLAN  
TAX BLOCK: 1480, LOT: 1  
NYC DOB BIN 1084784 AND 1084785



NO.	SUBMISSIONS/ REVISIONS	DATE
4	DOB FILING SET	04.23.2018
3	DOB CLIENT REVIEW (2)	04.03.2018
2	DOB CLIENT REVIEW	03.20.2018
1	BID SET	07.05.2017



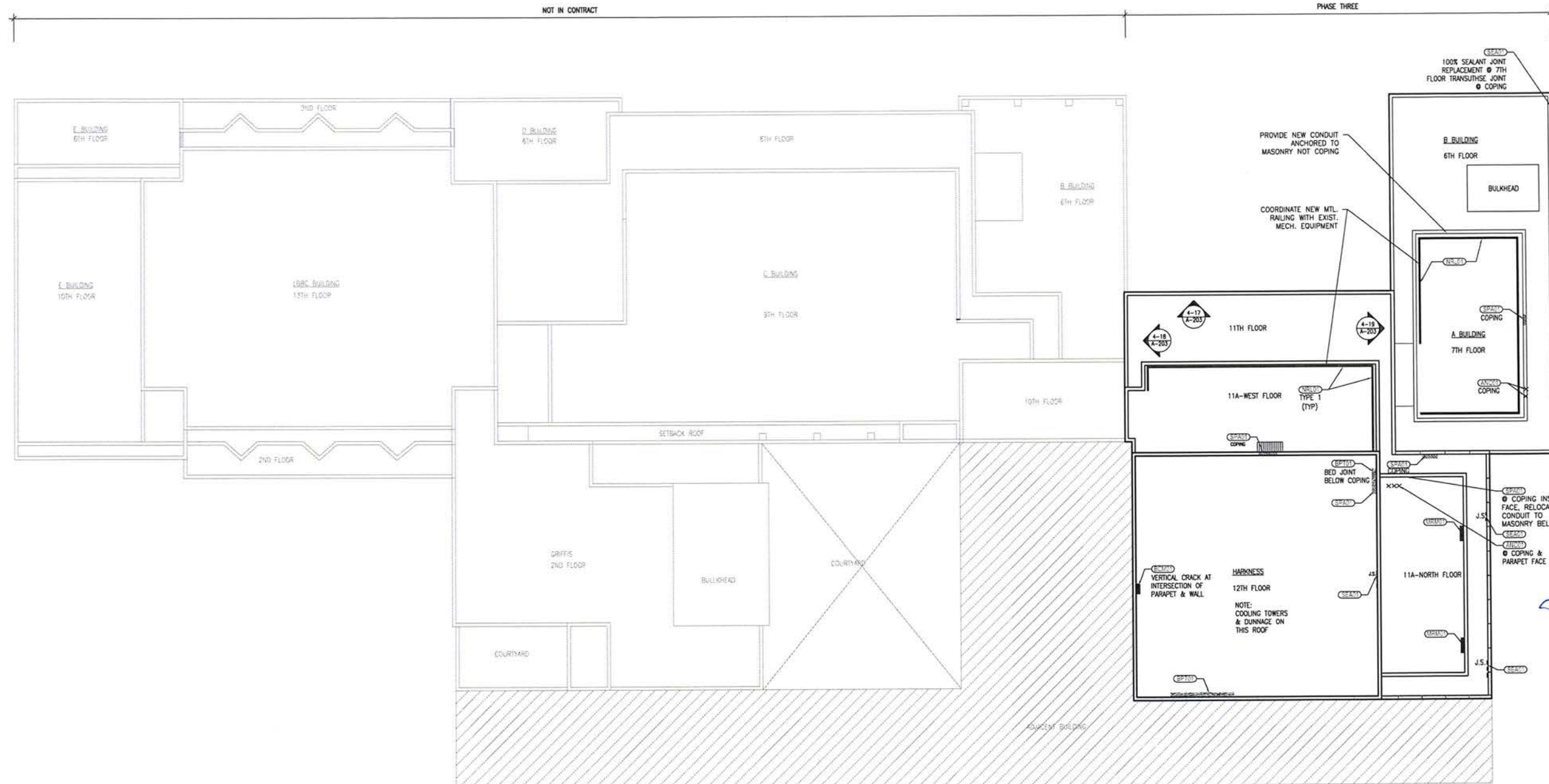
PROJECT  
**FACADE REPAIRS AND CLEANING - 1300 YORK AVE. PHASE III - A & HARKNESS**  
1300 YORK AVENUE, NEW YORK, NY 10065  
WCM PROJECT #18-002

REPAIR LEGEND AND SITE PLAN

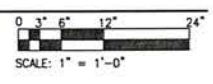
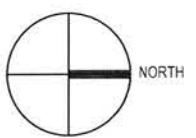
DATE & SIGNATURE	DATE: 04.03.2018
DWG. PROJECT NO.	P16-042
SCALE	AS NOTED
DRAWN BY	LYWJ
CHECKED BY	PJDE
DWG. NO.	<b>T-003.00</b>
DWG. DATE	3 OF 11

TED: 4/23/2018 12:17 PM BY: FILE NAME: \\V:\projects\01\_architectural\_preservation\studio\16-042-1300\18-002\dwg\01\_repair\_legend\01\_repair\_legend.dwg phase 3\_1-003.dwg

TTD: 4/23/2018 12:18 PM BT: ----- FILE NAME: \\V:\projects\01\_architectural\preservation\studio\18-002\18-002a\18-002a\_dwg\18-002a\_roof\_phase\_III-01.dwg



**1** ROOF PLAN -- PHASE THREE  
SCALE: 1/4" = 1'-0"



- GENERAL NOTES:**
- ENTIRE BRICK AND LIMESTONE FACADE ALL BE CLEANED SHOWN OR NOT, COORDINATE WORK WITH FACADE REPAIRS, PROTECT ALL EXISTING WINDOWS AND DOORS.
  - ROOF PLAN AND ELEVATION DRAWINGS ARE SCHEMATIC AND EXACT LAYOUT AND DIMENSION MAY VARY.
  - SEE SHEET T-004.00 FOR SCHEMATIC SIDEWALK SHED LAYOUT, ENSURE THAT ALL EXISTING DOORS HAVE FULL OPERABILITY FOR EGRESS AND NOT BLOCKED AT ANY TIME. CONTRACTOR SHALL ASSUME THAT THE ARCHITECT WILL PERFORM AN INSPECTION SURVEY, PROGRESS INSPECTIONS, AND A PUNCH LIST INSPECTION AT ALL SCAFFOLD DROP LOCATIONS.
  - THE CONTRACTOR SHALL PERFORM ALL REMOVAL AND RELATED WORK SHOWN ON THE DRAWINGS, DESCRIBED IN THESE NOTES, AND REASONABLY INFERRED AS NECESSARY TO COMPLETE THE SCOPE OF WORK.
  - COORDINATE & FIELD VERIFY NEW RAILINGS AT LOCATION TO ENSURE FULL COORDINATION WITH EXISTING CONDITIONS INCLUDING PARAPET HEIGHT LOCATION OF MECHANICAL EQUIPMENT.
  - THE CONTRACTOR SHALL PREPARE RAILING SHOP DRAWINGS DESIGNED BY A NYS LICENSED P.E.
  - ALL NOT IN CONTRACT AREAS TO HAVE WORK FILED UNDER SEPARATE APPLICATION.

**ARCHITECT**  
**ARCHITECTURAL PRESERVATION STUDIO, DPC**  
 ARCHITECTURE • INTERIORS • PRESERVATION • HISTORIC PRESERVATION  
 185 Broadway, Suite 800, New York, NY 10037-2-0227  
 212.277.7818 • info@apstudio.com

**OWNER**  
**Weill Cornell Medicine**  
 WEILL CORNELL MEDICAL COLLEGE  
 445 EAST 98TH STREET, OLIN HALL, SUITE 300  
 NEW YORK, NY 10021

**LOCATION PLAN**  
 TAX BLOCK: 1480, LOT: 1  
 NYC DOB BIN 1084784 AND 1084785



NO.	SUBMISSIONS / REVISIONS	DATE
4	DOB FILING SET	04.23.2018
3	DOB CLIENT REVIEW (2)	04.03.2018
2	DOB CLIENT REVIEW	03.20.2018
1	BID SET	07.05.2017

**PROJECT NORTH** (North arrow symbol)

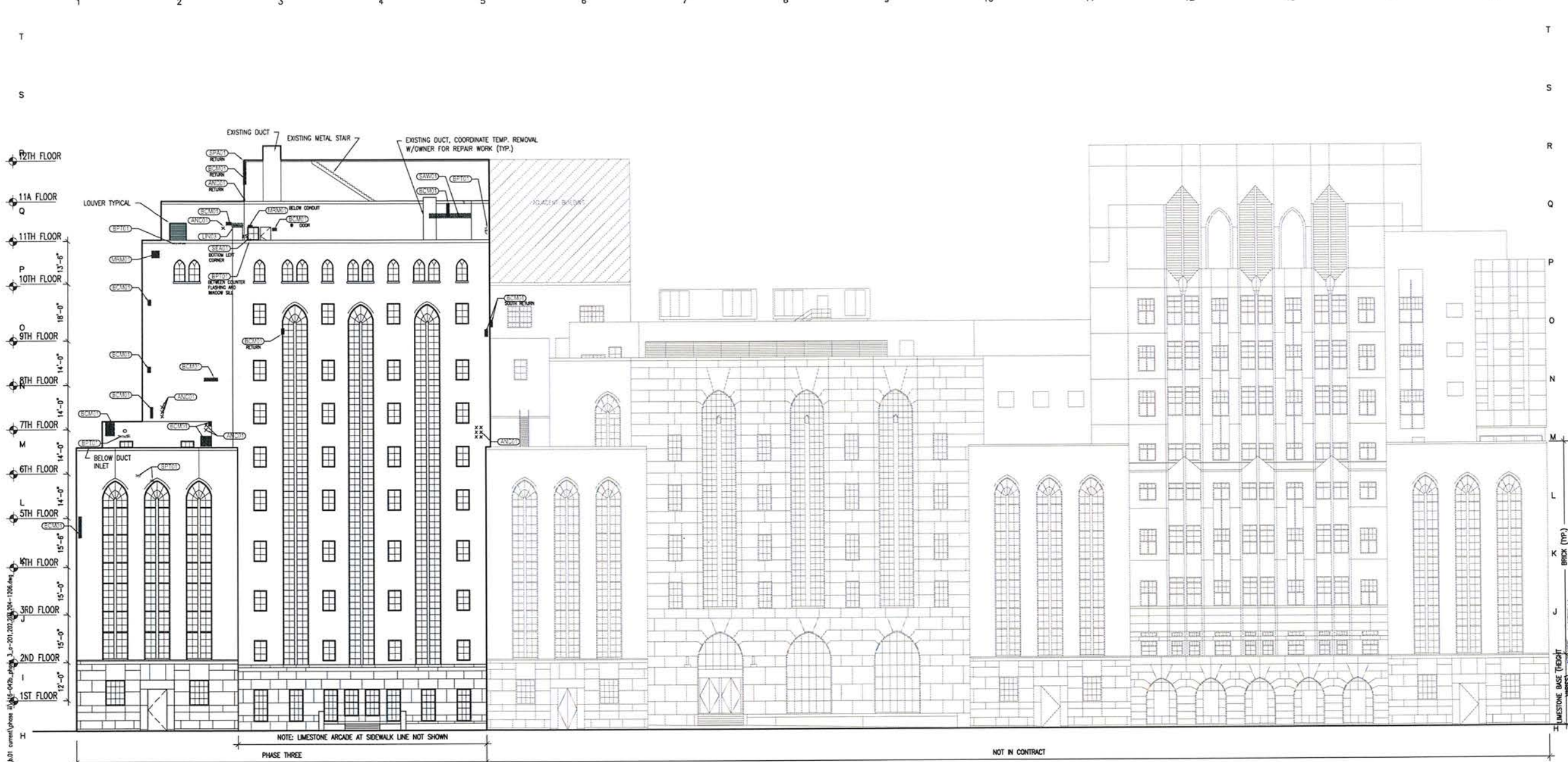
**REFERENCE BAR**  
SEE DRAWINGS FOR SCALE DESIGNATION (Graphic scale bar)

**FACADE REPAIRS AND CLEANING - 1300 YORK AVE. PHASE III - A & HARKNESS**

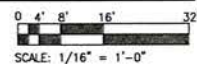
1300 YORK AVENUE, NEW YORK, NY 10065  
 WCM PROJECT #18-002

**ROOF PLAN**

DATE: 04.03.2018	DATE: 04.03.2018
PROJECT NO: P18-002	SCALE: AS NOTED
DRAWN BY: LYNJ	CHECKED BY: PJD
<b>A-101.00</b>	
4 OF 11	

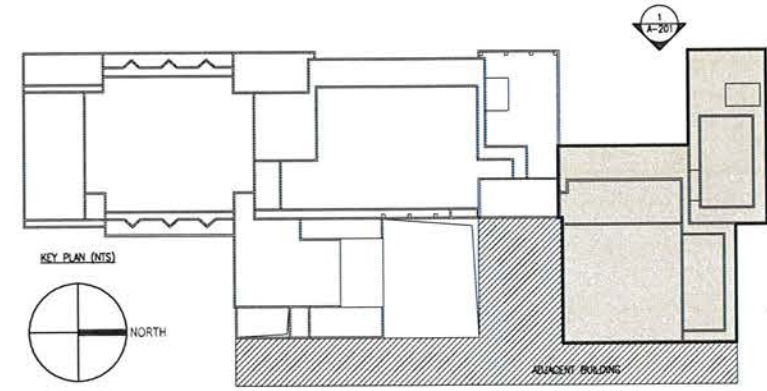


1 WEST FACADE ELEVATION - PHASE THREE  
SCALE: 1/16" = 1'-0"



**GENERAL NOTES:**

- ENTIRE BRICK AND LIMESTONE FACADE ALL BE CLEANED SHOWN OR NOT, COORDINATE WORK WITH FACADE REPAIRS, PROTECT ALL EXISTING WINDOWS AND DOORS.
- ROOF PLAN AND ELEVATION DRAWINGS ARE SCHEMATIC AND EXACT LAYOUT AND DIMENSION MAY VARY.
- SEE SHEET T-004.00 FOR SCHEMATIC SIDEWALK SHED LAYOUT, ENSURE THAT ALL EXISTING DOORS HAVE FULL OPERABILITY FOR EGRESS AND NOT BLOCKED AT ANY TIME. CONTRACTOR SHALL ASSUME THAT THE ARCHITECT WILL PERFORM AN INSPECTION SURVEY, PROGRESS INSPECTIONS, AND A PUNCH LIST INSPECTION AT ALL SCAFFOLD DROP LOCATIONS.
- THE CONTRACTOR SHALL PERFORM ALL REMOVAL AND RELATED WORK SHOWN ON THE DRAWINGS, DESCRIBED IN THESE NOTES, AND REASONABLY INFERRED AS NECESSARY TO COMPLETE THE SCOPE OF WORK.
- COORDINATE & FIELD VERIFY NEW RAILINGS AT LOCATION TO ENSURE FULL COORDINATION WITH EXISTING CONDITIONS INCLUDING PARAPET HEIGHT LOCATION OF MECHANICAL EQUIPMENT.
- THE CONTRACTOR SHALL PREPARE RAILING SHOP DRAWINGS DESIGNED BY A NYS LICENSED P.E.
- ALL NOT IN CONTRACT AREAS TO HAVE WORK FILED UNDER SEPARATE APPLICATION.



**ARCHITECT**  
**ARCHITECTURAL PRESERVATION STUDIO, DPC**  
 534 Broadway, Suite 918, New York, NY 10012-3231  
 P: 212.777.9888 - info@apstudio.com

**OWNER**  
**Well Cornell Medicine**  
 WEILL CORNELL MEDICAL COLLEGE  
 445 EAST 99TH STREET, OLIN HALL, SUITE 300  
 NEW YORK, NY 10021

**LOCATION PLAN**  
 TAX BLOCK: 1480, LOT: 1  
 NYC DOB BIN 1084784 AND 1084785

**REGISTERED ARCHITECT**  
**PAMELA S. JEROME**  
 STATE OF NEW YORK  
 016277

4 DOB FILING SET 04.23.2018  
 3 DOB CLIENT REVIEW (2) 04.03.2018  
 2 DOB CLIENT REVIEW 03.20.2018  
 1 BID SET 07.05.2017

NO.	SUBMISSIONS / REVISIONS	DATE
4	DOB FILING SET	04.23.2018
3	DOB CLIENT REVIEW (2)	04.03.2018
2	DOB CLIENT REVIEW	03.20.2018
1	BID SET	07.05.2017

**PROJECT NORTH**

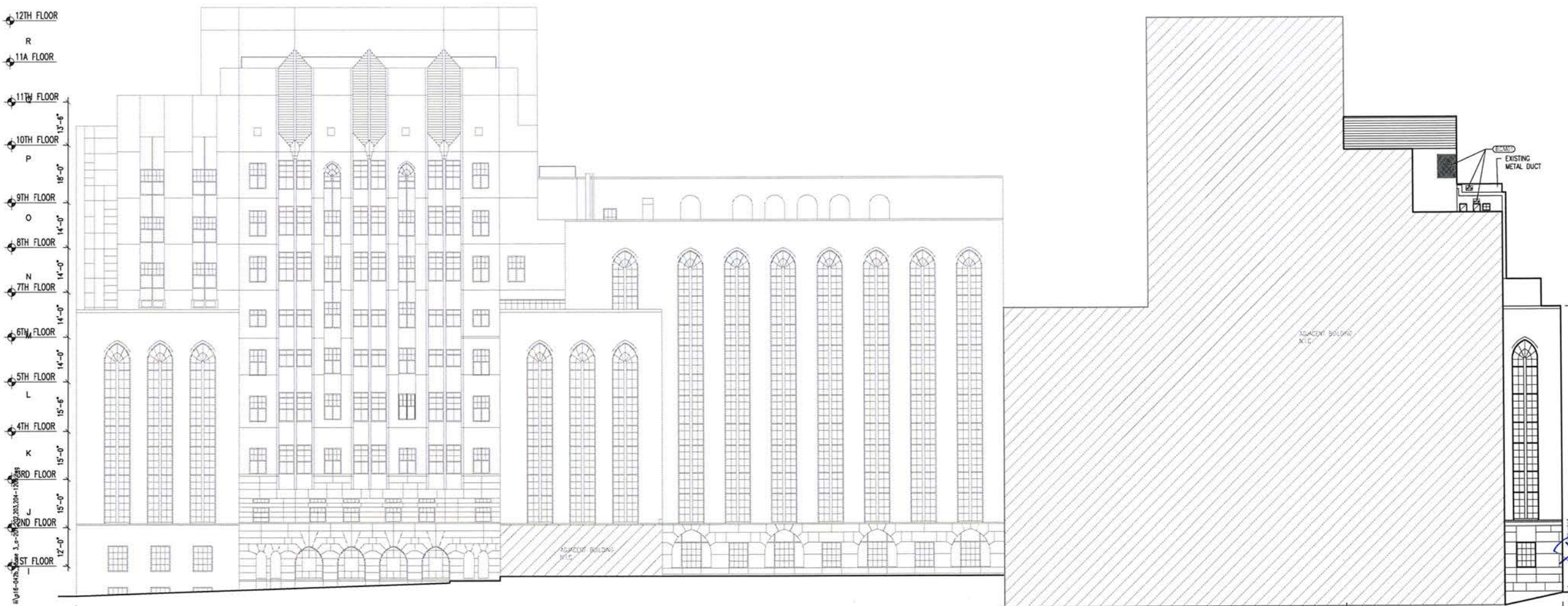
**REFERENCE BAR**  
 SEE DRAWINGS FOR SCALE DESIGNATION

**PROJECT**  
**FACADE REPAIRS AND CLEANING - 1300 YORK AVE. PHASE III - A & HARKNESS**  
 1300 YORK AVENUE, NEW YORK, NY 10065  
 WCM PROJECT #18-002

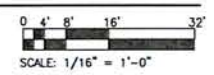
**DRAWING NAME**  
**WEST FACADE ELEVATION**

**DATE** 04.03.2018  
**APP. PROJECT NO.** P18-002  
**SCALE** AS NOTED  
**DRAWING BY** LYNJ  
**CHECKED BY** P.J.D.E.  
**PROJECT NO.** **A-201.00**  
**SHEET NO.** 5 OF 11

COPYRIGHT © 2018, ARCHITECTURAL PRESERVATION STUDIO DPC. ALL RIGHTS RESERVED

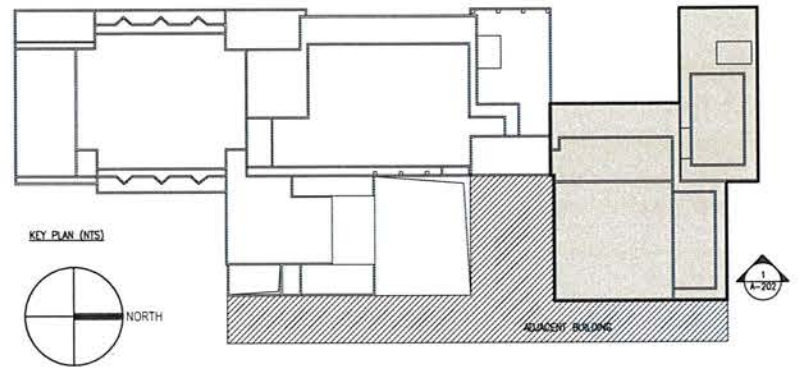


1 EAST FACADE ELEVATION - PHASE THREE  
SCALE: 1/16" = 1'-0"



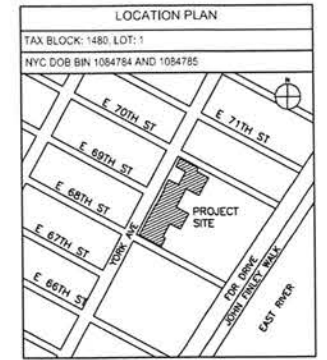
**GENERAL NOTES:**

- ENTIRE BRICK AND LIMESTONE FACADE ALL BE CLEANED SHOWN OR NOT, COORDINATE WORK WITH FACADE REPAIRS, PROTECT ALL EXISTING WINDOWS AND DOORS.
- ROOF PLAN AND ELEVATION DRAWINGS ARE SCHEMATIC AND EXACT LAYOUT AND DIMENSION MAY VARY.
- SEE SHEET T-004.00 FOR SCHEMATIC SIDEWALK SHED LAYOUT, ENSURE THAT ALL EXISTING DOORS HAVE FULL OPERABILITY FOR EGRESS AND NOT BLOCKED AT ANY TIME. CONTRACTOR SHALL ASSUME THAT THE ARCHITECT WILL PERFORM AN INSPECTION SURVEY, PROGRESS INSPECTIONS, AND A PUNCH LIST INSPECTION AT ALL SCAFFOLD DROP LOCATIONS.
- THE CONTRACTOR SHALL PERFORM ALL REMOVAL AND RELATED WORK SHOWN ON THE DRAWINGS, DESCRIBED IN THESE NOTES, AND REASONABLY INFERRED AS NECESSARY TO COMPLETE THE SCOPE OF WORK.
- COORDINATE & FIELD VERIFY NEW RAILINGS AT LOCATION TO ENSURE FULL COORDINATION WITH EXISTING CONDITIONS INCLUDING PARAPET HEIGHT LOCATION OF MECHANICAL EQUIPMENT.
- THE CONTRACTOR SHALL PREPARE RAILING SHOP DRAWINGS DESIGNED BY A NYS LICENSED P.E.
- ALL NOT IN CONTRACT AREAS TO HAVE WORK FILED UNDER SEPARATE APPLICATION.

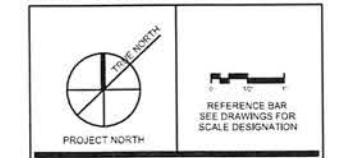


**ARCHITECT**  
**ARCHITECTURAL PRESERVATION STUDIO, DPC**  
 Architects - Historic Preservation & Building Technology Consulting  
 204 Broadway, Suite 500 New York, NY 10013-2223  
 212.477.2378 www.apstudio.com

**OWNER**  
**Weill Cornell Medicine**  
 WEILL CORNELL MEDICAL COLLEGE  
 445 EAST 68TH STREET, CLIN HALL, SUITE 300  
 NEW YORK, NY 10021



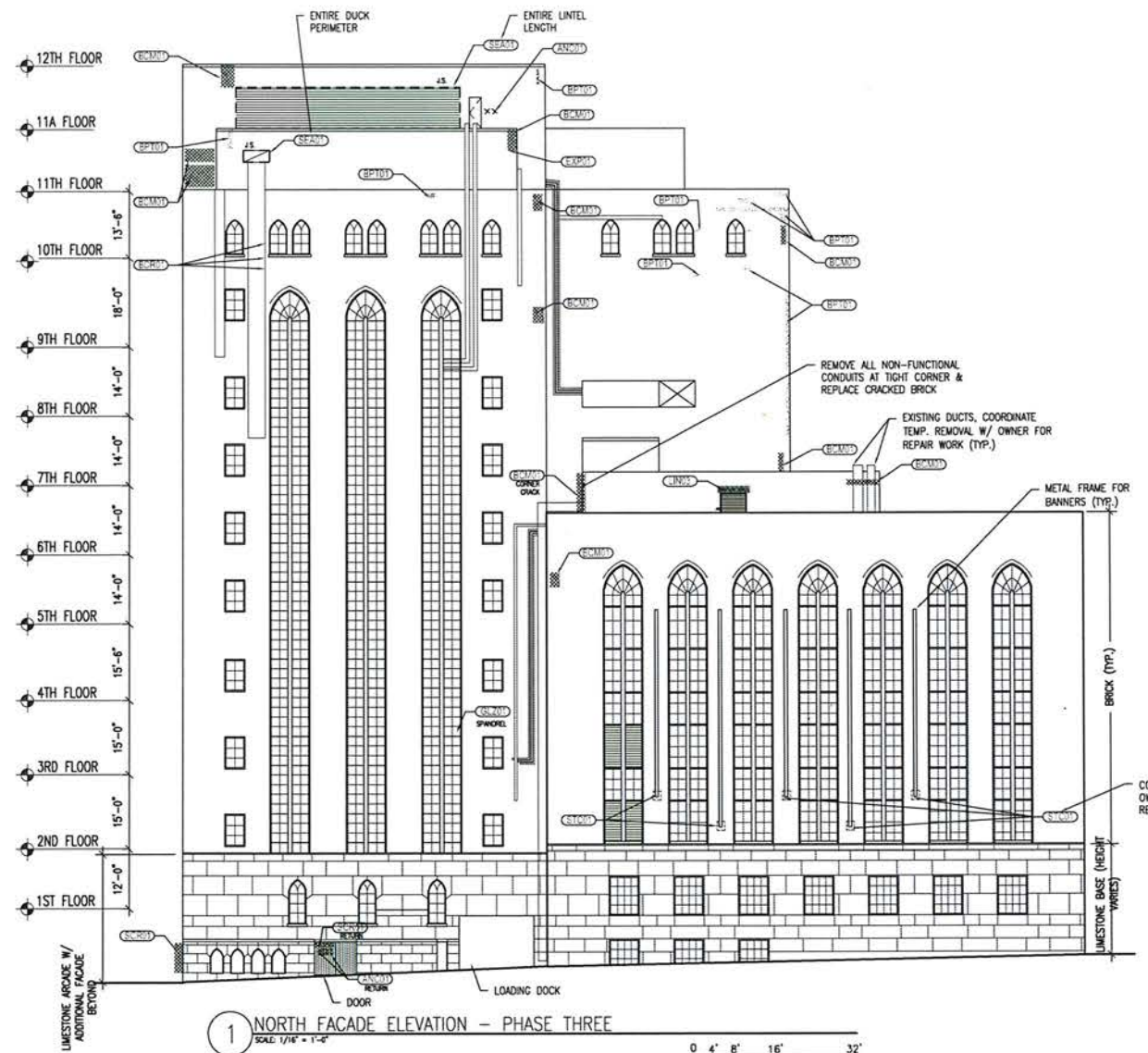
NO.	SUBMISSIONS/ REVISIONS	DATE
4	DOB FILING SET	04.23.2018
3	DOB CLIENT REVIEW (2)	04.03.2018
2	DOB CLIENT REVIEW	03.20.2018
1	BID SET	07.05.2017



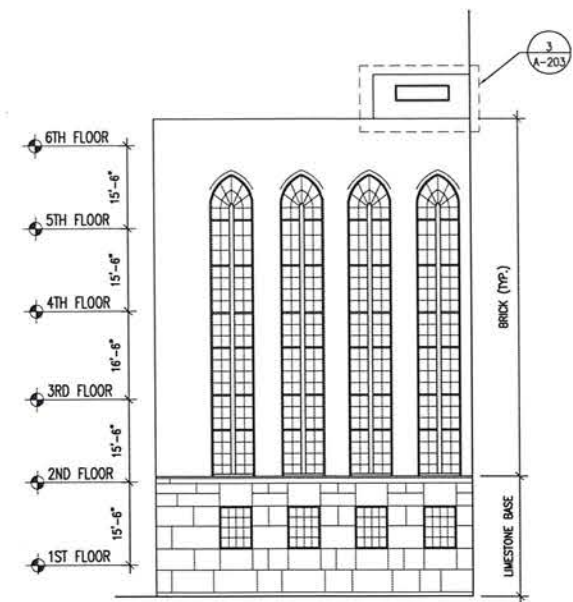
**PROJECT:**  
 FACADE REPAIRS AND CLEANING - 1300 YORK AVE. PHASE III - A & HARKNESS  
 1300 YORK AVENUE, NEW YORK, NY 10065  
 WCM PROJECT #18-002

**DRAWING NAME:**  
 EAST FACADE ELEVATION

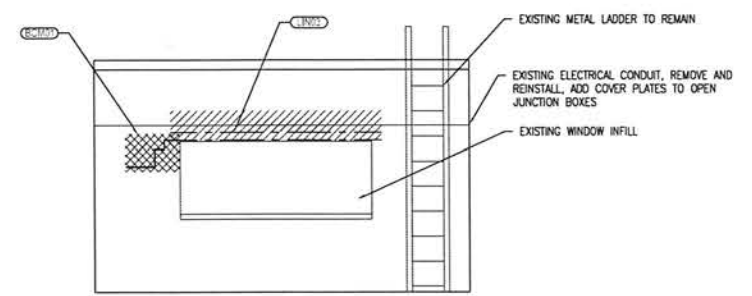
DATE:	04.23.2018
PROJ. NO.:	PT16-042
SCALE:	AS NOTED
DRAWN BY:	LYW/J
CHECKED BY:	PJW/DE
DRAWING NO.:	A-202.00
6 OF 11	



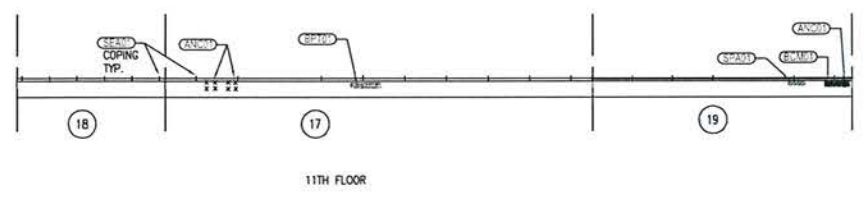
1 NORTH FACADE ELEVATION - PHASE THREE  
SCALE: 1/16" = 1'-0"



2 COURTYARD FACADE NORTH ELEVATIONS  
SCALE: 1/16" = 1'-0"

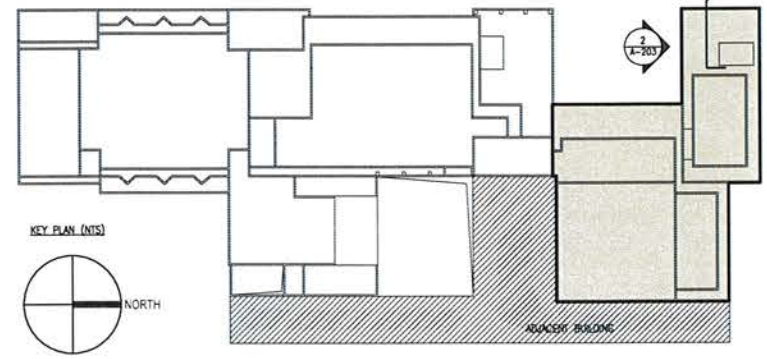


3 SOUTH RETURN ELEVATION - BULKHEAD  
SCALE: 1/4" = 1'-0"



4 INBOARD PARAPET ELEVATIONS  
SCALE: 1" = 1'-0"

GENERAL NOTES:  
 1. ENTIRE BRICK AND LIMESTONE FACADE ALL BE CLEANED SHOWN OR NOT, COORDINATE WORK WITH FACADE REPAIRS, PROTECT ALL EXISTING WINDOWS AND DOORS.  
 2. ROOF PLAN AND ELEVATION DRAWINGS ARE SCHEMATIC AND EXACT LAYOUT AND DIMENSION MAY VARY.  
 3. SEE SHEET T-004.00 FOR SCHEMATIC SIDEWALK SHED LAYOUT, ENSURE THAT ALL EXISTING DOORS HAVE FULL OPERABILITY FOR EGRESS AND NOT BLOCKED AT ANY TIME.  
 4. CONTRACTOR SHALL ASSUME THAT THE ARCHITECT WILL PERFORM AN INSPECTION SURVEY, PROGRESS INSPECTIONS, AND A PUNCH LIST INSPECTION AT ALL SCAFFOLD DROP LOCATIONS.  
 5. THE CONTRACTOR SHALL PERFORM ALL REMOVAL AND RELATED WORK SHOWN ON THE DRAWINGS, DESCRIBED IN THESE NOTES, AND REASONABLY INFERRED AS NECESSARY TO COMPLETE THE SCOPE OF WORK.  
 6. COORDINATE & FIELD VERIFY NEW RAILINGS AT LOCATION TO ENSURE FULL COORDINATION WITH EXISTING CONDITIONS INCLUDING PARAPET HEIGHT LOCATION OF MECHANICAL EQUIPMENT.  
 7. THE CONTRACTOR SHALL PREPARE RAILING SHOP DRAWINGS DESIGNED BY A NYS LICENSED P.E.  
 8. ALL NOT IN CONTRACT AREAS TO HAVE WORK FILED UNDER SEPARATE APPLICATION.



KEY PLAN (N/S)

ARCHITECT  
**ARCHITECTURAL PRESERVATION STUDIO, DPC**  
 300 Broadway, Suite 910 New York, NY 10013-2223  
 Tel: 212.777.7700 Fax: 212.777.7700  
 www.archpreservationstudio.com

OWNER  
**Weill Cornell Medicine**  
 WEILL CORNELL MEDICAL COLLEGE  
 445 EAST 69TH STREET, OLIN HALL, SUITE 300  
 NEW YORK, NY 10021

LOCATION PLAN  
 TAX BLOCK: 1480, LOT: 1  
 NYC DOB BIN 1084784 AND 1084785

REGISTERED ARCHITECT  
**PAMELA S. JEROME**  
 STATE OF NEW YORK  
 018277

4 DOB FILING SET 04.23.2018  
 3 DOB CLIENT REVIEW (2) 04.03.2018  
 2 DOB CLIENT REVIEW 03.20.2018  
 1 BID SET 07.05.2017

NO.	SUBMISSIONS/ REVISIONS	DATE
4	DOB FILING SET	04.23.2018
3	DOB CLIENT REVIEW (2)	04.03.2018
2	DOB CLIENT REVIEW	03.20.2018
1	BID SET	07.05.2017

PROJECT NORTH

REFERENCE BAR  
 SEE DRAWINGS FOR SCALE DESIGNATION

PROJECT  
**FACADE REPAIRS AND CLEANING - 1300 YORK AVE. PHASE III - A & HARKNESS**

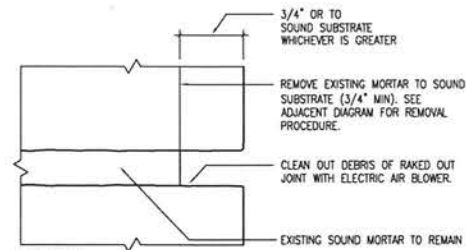
1300 YORK AVENUE, NEW YORK, NY 10005  
 WCM PROJECT #18-002

DRAWING NAME  
**NORTH FACADE, PART FACADE & INBOARD PARAPET ELEVATIONS**

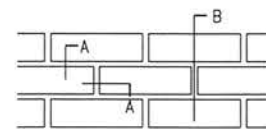
DATE	BY
04.03.2018	SAF
P18-042	
AS NOTED	
LT/VJ	
PJ/DE	

DWG NO. **A-203.00**  
 7 OF 11

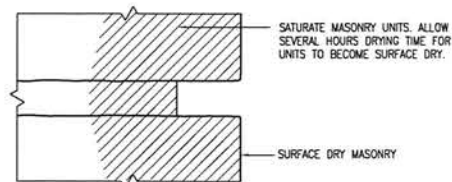
COPYRIGHT © 2018, ARCHITECTURAL PRESERVATION STUDIO DPC, ALL RIGHTS RESERVED



STEP 1: MORTAR REMOVAL

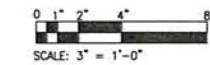


REPAIR KEY

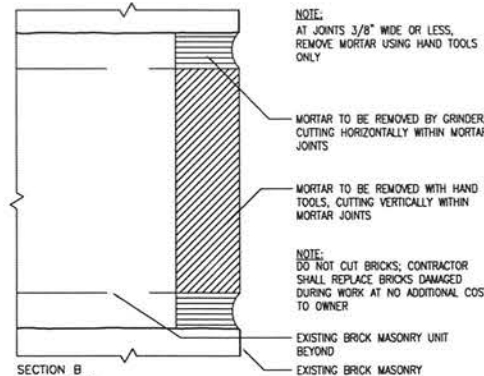


STEP 2: PRE-WETTING OF MASONRY UNITS

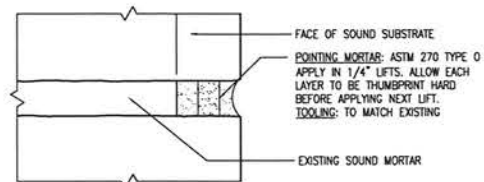
1 BRICK REPOINTING  
SCALE: 3" = 1'-0"



SCALE: 3" = 1'-0"

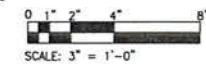


STEP 1: MORTAR REMOVAL

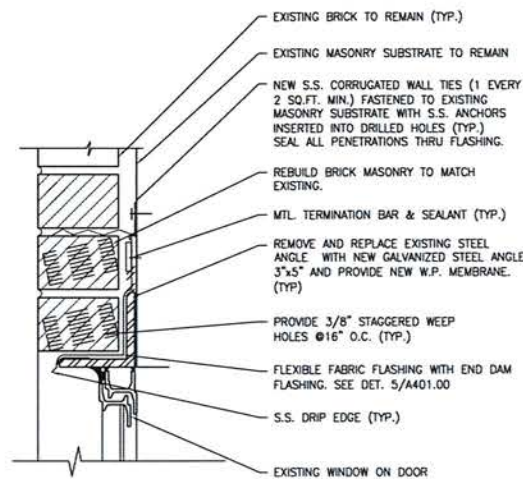


STEP 3: APPLICATION OF MORTAR

3 WINDOW/ DOOR LINTEL REPAIR  
SCALE: 3" = 1'-0"



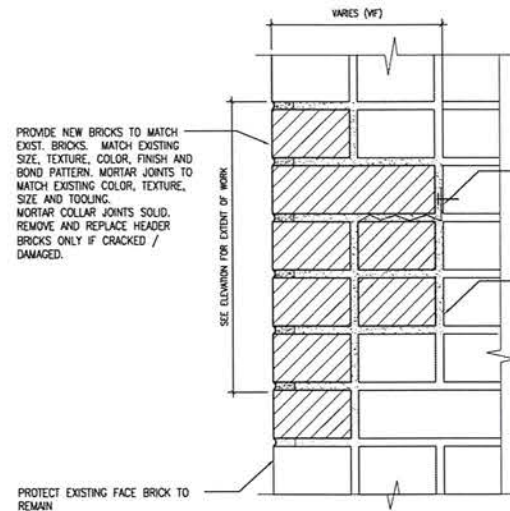
SCALE: 3" = 1'-0"



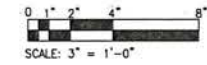
4 WINDOW/ DOOR LINTEL REPLACEMENT  
SCALE: 3" = 1'-0"



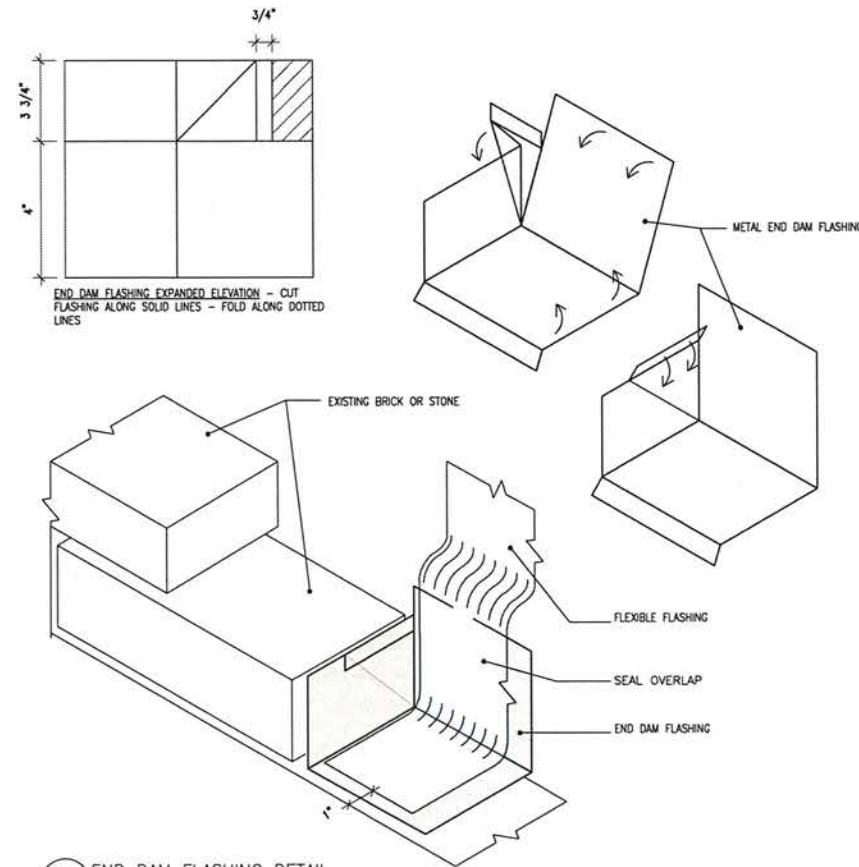
SCALE: 3" = 1'-0"



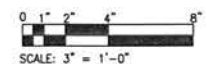
2 BRICK MASONRY REPLACEMENT  
SCALE: 3" = 1'-0"



SCALE: 3" = 1'-0"

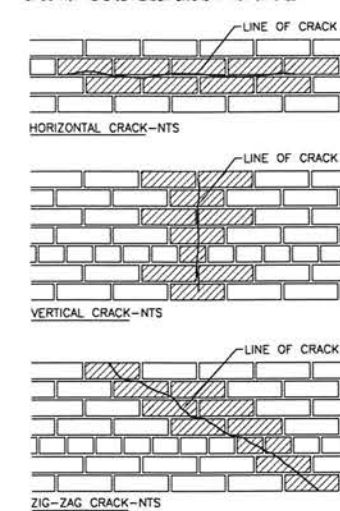


5 END DAM FLASHING DETAIL  
SCALE: 3" = 1'-0"



SCALE: 3" = 1'-0"

- NOTES:
1. AT HORIZONTAL CRACK, THE REPLACEMENT OF BRICKS SHALL BE PERFORMED IN SECTIONS OF 3'-0" EACH.
  2. REPLACE HATCHED BRICKS WITH NEW BRICKS.
  3. DO NOT REPLACE HEADER BRICKS IF NOT CRACKED.

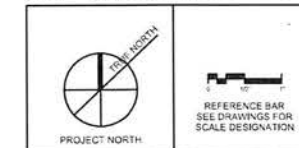


ARCHITECT  
**ARCHITECTURAL PRESERVATION STUDIO, DPC**  
Architectural Preservation & Building Envelope Consulting  
678 Broadway, Suite 210 New York, NY 10013-2231  
212-477-7376, info@apstudio.com

OWNER  
**Weill Cornell Medicine**  
WEILL CORNELL MEDICAL COLLEGE  
445 EAST 69TH STREET, OLIN HALL, SUITE 300  
NEW YORK, NY 10021



NO.	SUBMISSIONS/ REVISIONS	DATE
4	DOB FILING SET	04.23.2018
3	DOB CLIENT REVIEW (2)	04.03.2018
2	DOB CLIENT REVIEW	03.20.2018
1	BID SET	07.05.2017



PROJECT  
**FACADE REPAIRS AND CLEANING - 1300 YORK AVE. PHASE III - A & HARKNESS**

1300 YORK AVENUE, NEW YORK, NY 10005  
WCM PROJECT #18-002

DRAWING NAME  
**DETAILS 1**

DATE	BY
04.03.2018	
P16-042	
AS NOTED	
EV/JZ	
PJ/DE	

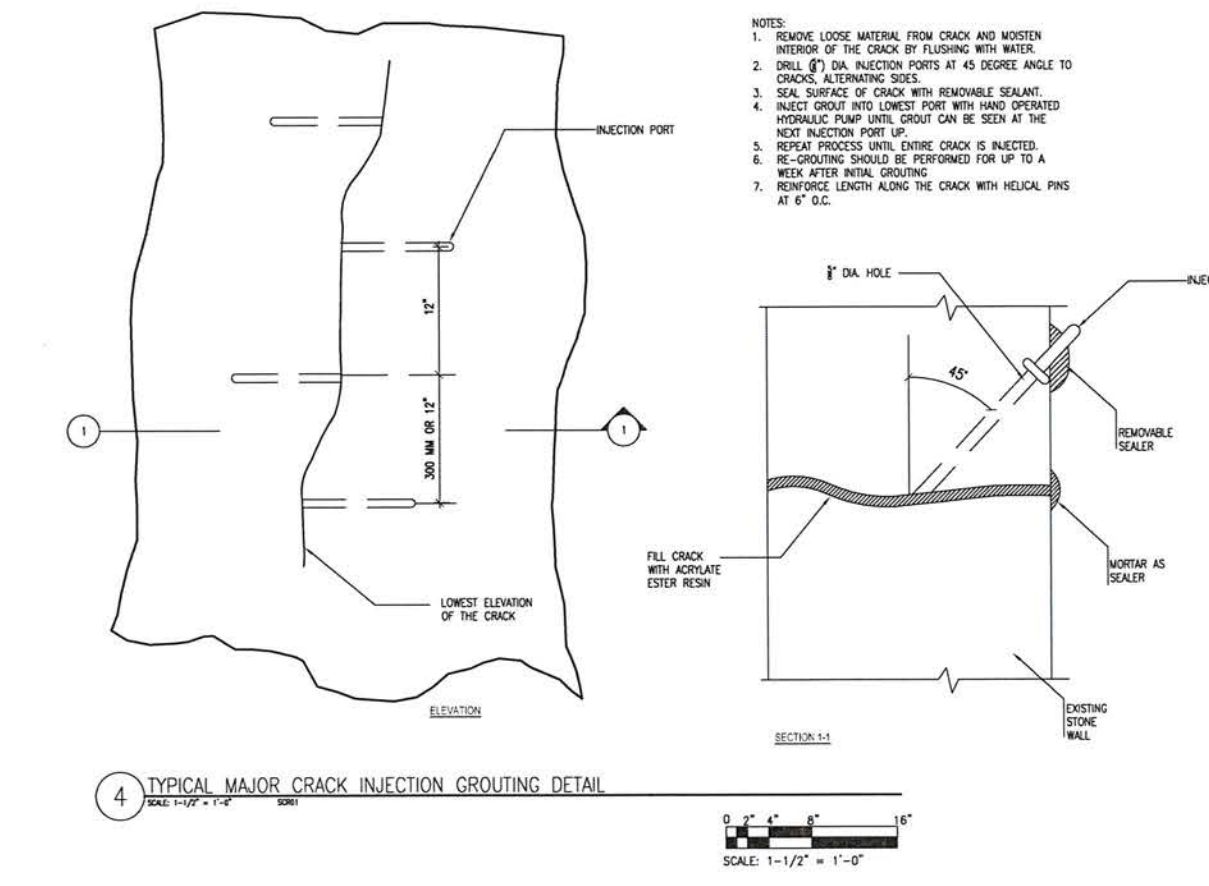
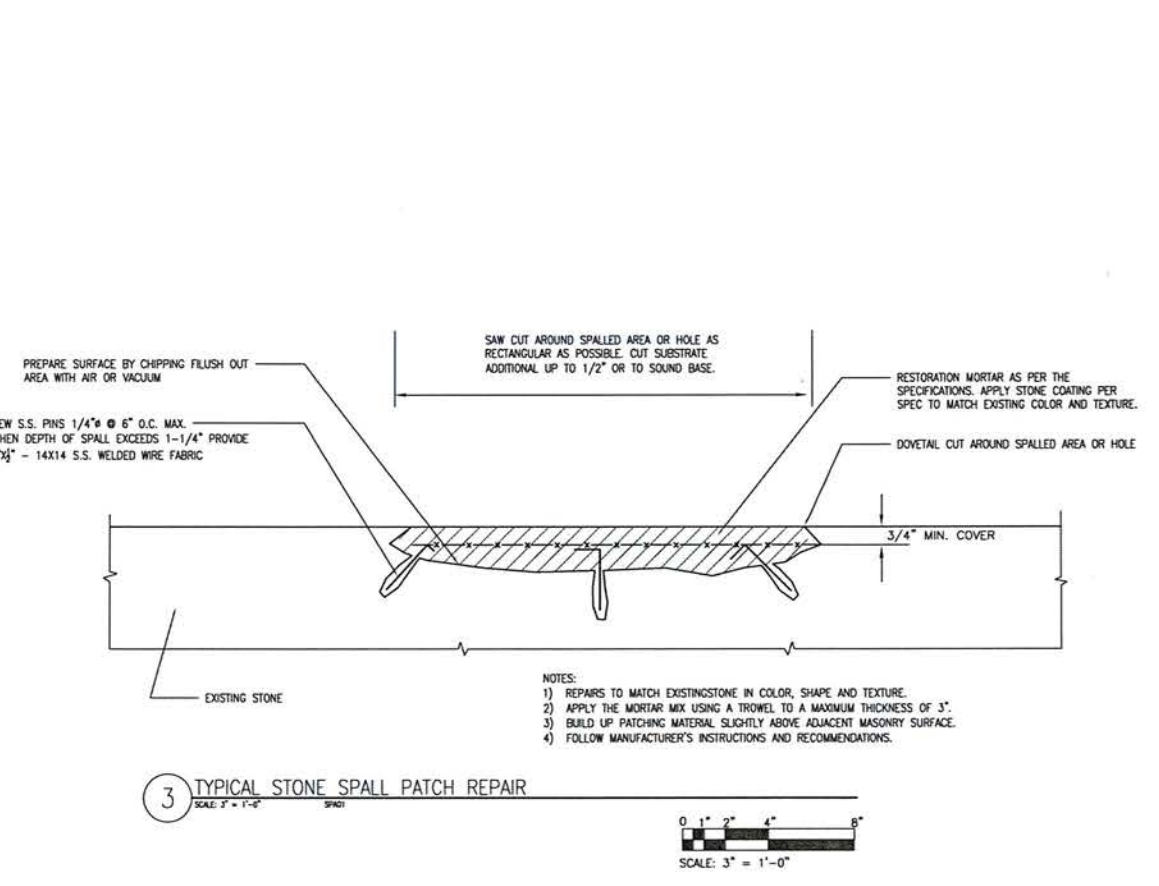
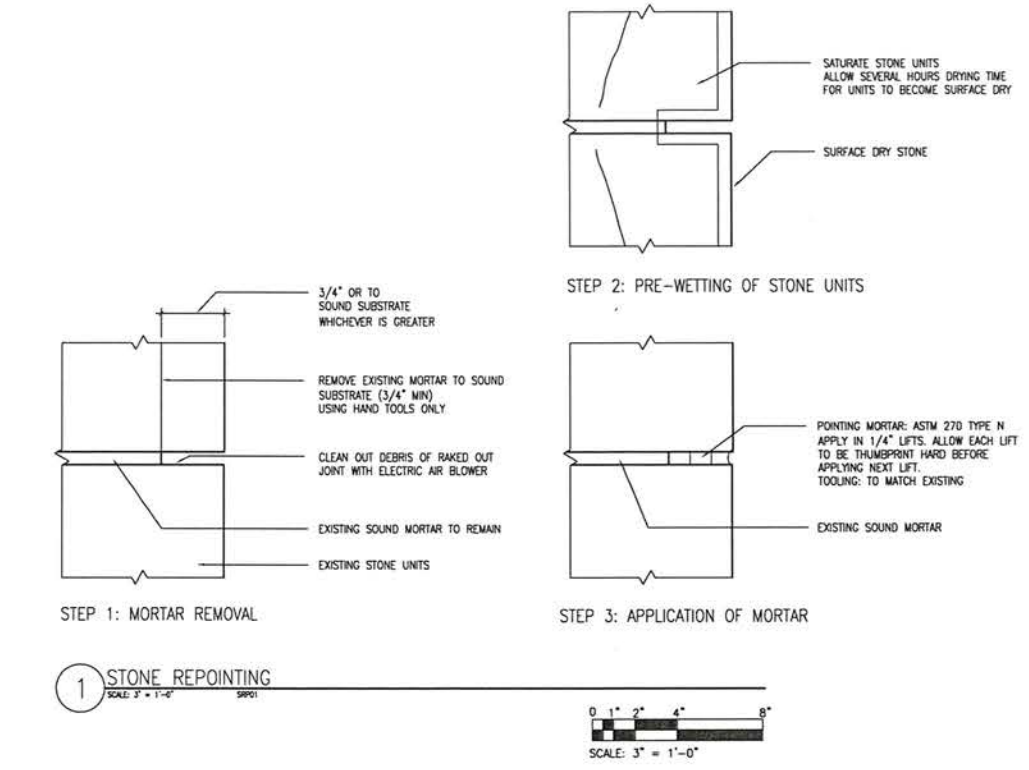
DWG NO.  
**A-401.00**

8 OF 11  
COPYRIGHT © 2018, ARCHITECTURAL PRESERVATION STUDIO DPC, ALL RIGHTS RESERVED



2/27/2018 12:23 PM BR: ----- FILE NAME: I:\01\_projects\01\_architectural\_preservation\_studio\3016\16-02\_well\_cornell\_facade\_repair\16-02-000\01\_dwg\16-02-000-01.dwg

T  
S  
R  
Q  
P  
O  
N  
M  
L  
K  
J  
I  
H  
G  
F  
E  
D  
C  
B  
A



ARCHITECT  
**ARCHITECTURAL PRESERVATION STUDIO, OPC**  
Architectural Preservation • Building Envelope Consulting  
100 Broadway, Suite 418, New York, NY 10027-3022  
212.477.7338 info@preservestudio.com

OWNER  
**Weill Cornell Medicine**  
WEILL CORNELL MEDICAL COLLEGE  
445 EAST 69TH STREET, OLIN HALL, SUITE 300  
NEW YORK, NY 10021

LOCATION PLAN  
TAX BLOCK: 1480, LOT: 1  
NYC DOB BIN 1054784 AND 1054785

REGISTERED ARCHITECT  
**PAMELA S. JEROME**  
STATE OF NEW YORK  
1987

4 DOB FILING SET 04.23.2018  
3 DOB CLIENT REVIEW (2) 04.03.2018  
2 DOB CLIENT REVIEW 03.20.2018  
1 BID SET 07.05.2017

NO. SUBMISSIONS/ REVISIONS DATE

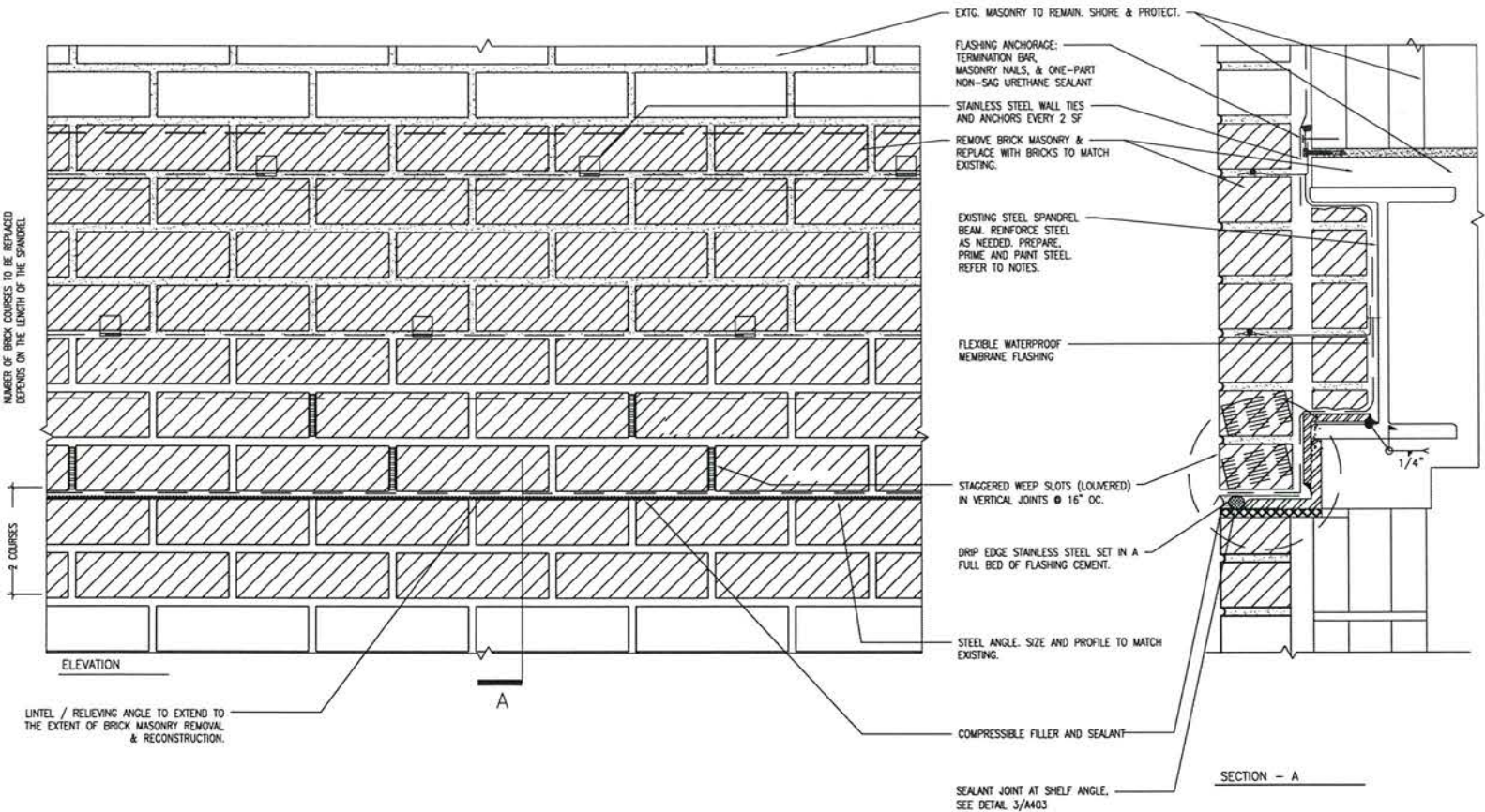
PROJECT NORTH

PROJECT: **FACADE REPAIRS AND CLEANING - 1300 YORK AVE. PHASE III - A & HARKNESS**

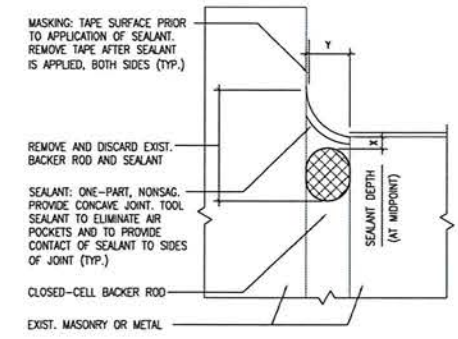
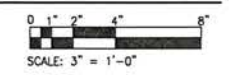
1300 YORK AVENUE, NEW YORK, NY 10005  
WCM PROJECT #16-002

DATE: 04.03.2018  
DRAWING NO.: P16-042  
SCALE: AS NOTED  
DRAWN BY: LY/VJ  
CHECKED BY: PJJ/DE  
DATE: 04.03.2018  
DRAWING NO.: **A-402.00**  
9 OF 11

COPYRIGHT © 2018, ARCHITECTURAL PRESERVATION STUDIO, OPC. ALL RIGHTS RESERVED



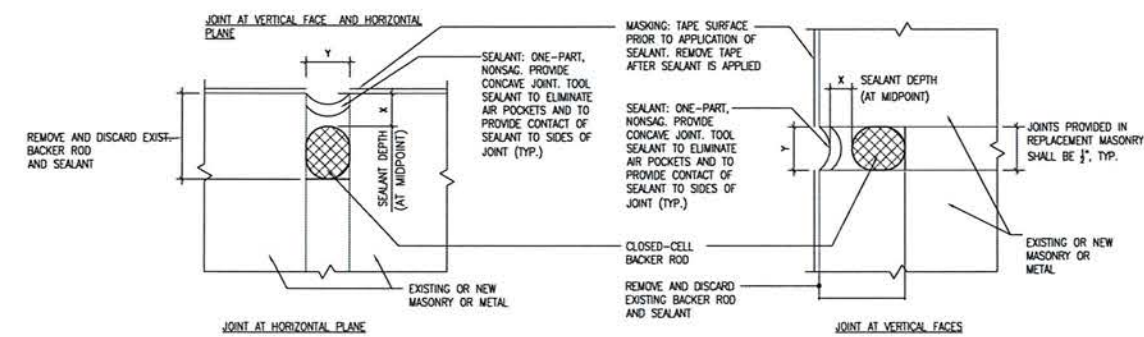
1 SHELF ANGLE WATERPROOFING  
SCALE: 3" = 1'-0"



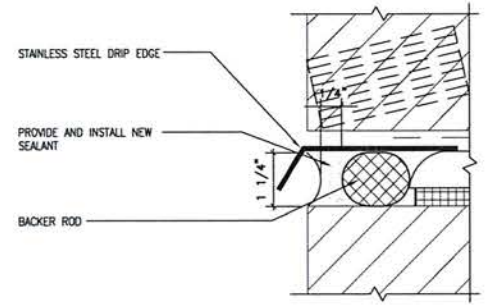
- NOTES:**
1. RAKE OUT EXISTING SEALANT AND BACKER ROD MATERIAL TO DEPTH REQUIRED FOR REPLACEMENT PER CHART BELOW. COORDINATE WITH HAZARDOUS MATERIALS DOCUMENTS.
  2. CLEAN OFF FACES OF JOINT WITH NON-DESTRUCTIVE SOLVENT PER MANUFACTURER'S RECOMMENDATIONS.
  3. PROVIDE THESE DETAILS IN APPLICABLE CONFIGURATIONS, AT WINDOW PERIMETERS, JOINTS, NEW AND RESTORED LINTELS, COPING STONE JOINTS, MASONRY EXPANSION JOINTS AND ANY OTHER LOCATIONS AS INDICATED ON DRAWINGS.

**EXISTING JOINT SCHEDULE:**

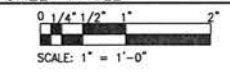
JOINT WIDTH (Y)	1/4"	1/2"	3/8"	3/4"	7/8"	1"	1 1/4"	1 1/2"
SEALANT DEPTH (X)	3/16"	1/4"	1/4"-3/8"	3/8"-1/2"	3/8"-1/2"	3/8"-1/2"	1/2"	1/2"
BACKER ROD DIAMETER	3/8"	5/8"	3/4"	1"	1 1/4"	1 1/4"	1 1/2"	2"



2 TYPICAL SEALANT REPLACEMENT  
SCALE: 3" = 1'-0"



3 SEALANT JOINT DETAIL AT SHELF ANGLE  
SCALE: 1" = 1'-0"



ARCHITECT  
**ARCHITECTURAL PRESERVATION STUDIO, DPC**  
130 Broadway, Suite 210 New York, NY 10013  
Tel: 212 477 1876 Fax: 212 477 1877

OWNER  
**Weill Cornell Medicine**  
WEILL CORNELL MEDICAL COLLEGE  
445 EAST 68TH STREET, OLIN HALL, SUITE 300  
NEW YORK, NY 10021

LOCATION PLAN  
TAX BLOCK: 1485, LOT: 1  
NYC DOB BIN 1094784 AND 1094785

REGISTERED ARCHITECT  
**PAMELA S. JEROME**  
STATE OF NEW YORK  
616877

4 DOB FILING SET 04.23.2018  
3 DOB CLIENT REVIEW (2) 04.03.2018  
2 DOB CLIENT REVIEW 03.20.2018  
1 BID SET 07.05.2017

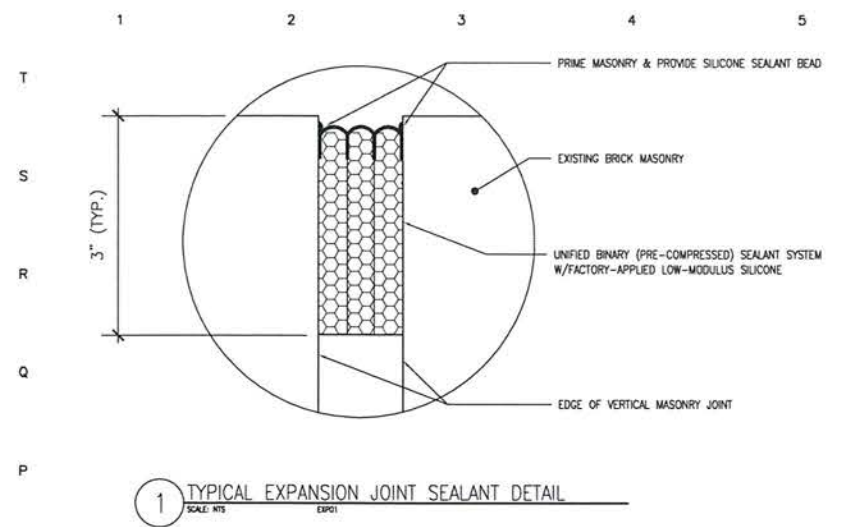
PROJECT NORTH

PROJECT:  
**FACADE REPAIRS AND CLEANING - 1300 YORK AVE. PHASE III - A & HARKNESS**  
1300 YORK AVENUE, NEW YORK, NY 10065  
WCM PROJECT #18-002

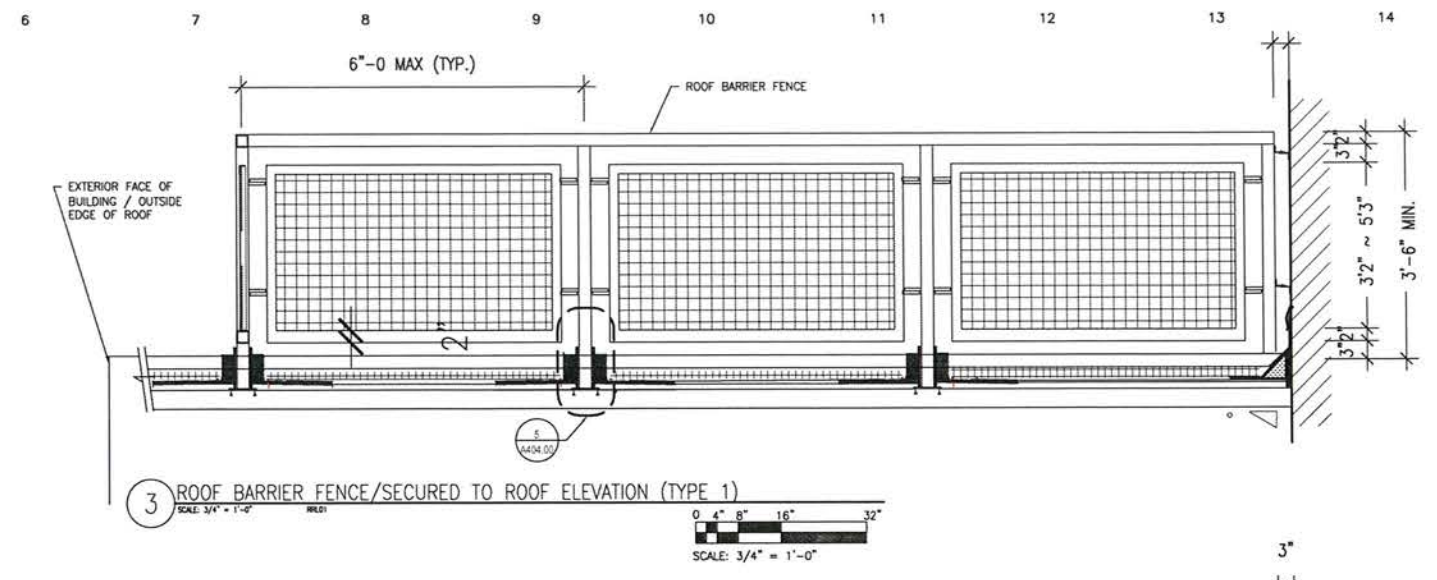
DETAILS 3

DATE: 04.03.2018  
PROJECT NO: P18-002  
SCALE: AS NOTED  
DRAWING BY: LY/JJ  
CHECKED BY: PJJ/DE  
JOB NO: **A-403.00**  
10 OF 11

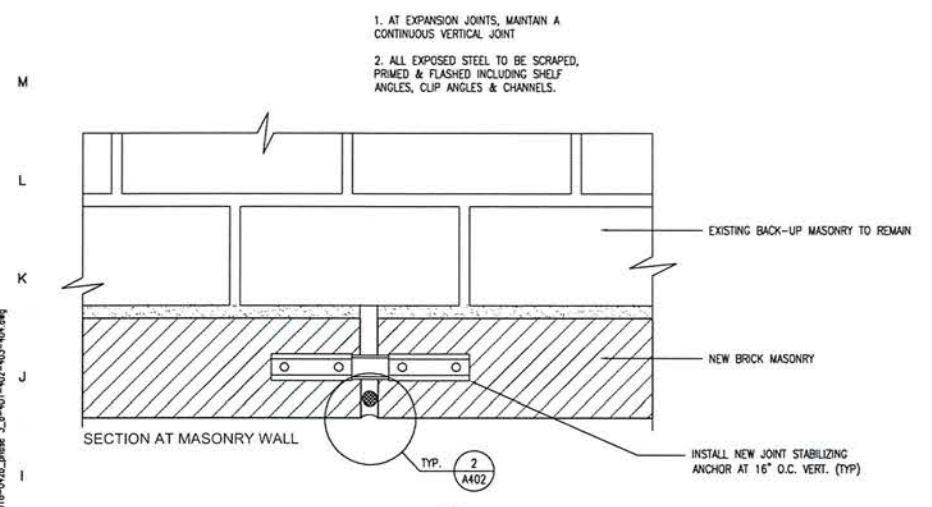
7/27/2018 12:23 PM BY: FILE NAME: I:\01\_projects\01\_architectural\_preservation\studio\2018\18-002\_wcm\_facade\_repair\18-0403-1300\18-002\_arch\18-0403\_phase\_3\_a-01-02-001.dwg



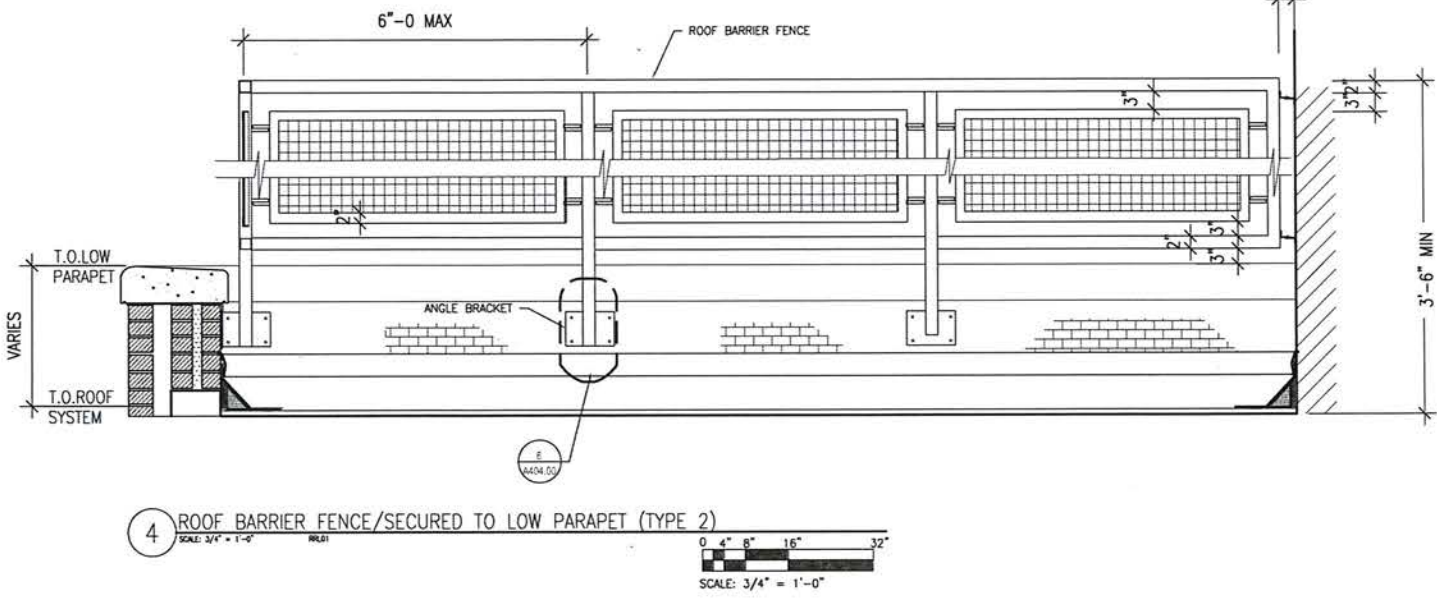
1 TYPICAL EXPANSION JOINT SEALANT DETAIL  
SCALE: 3/4" = 1'-0"



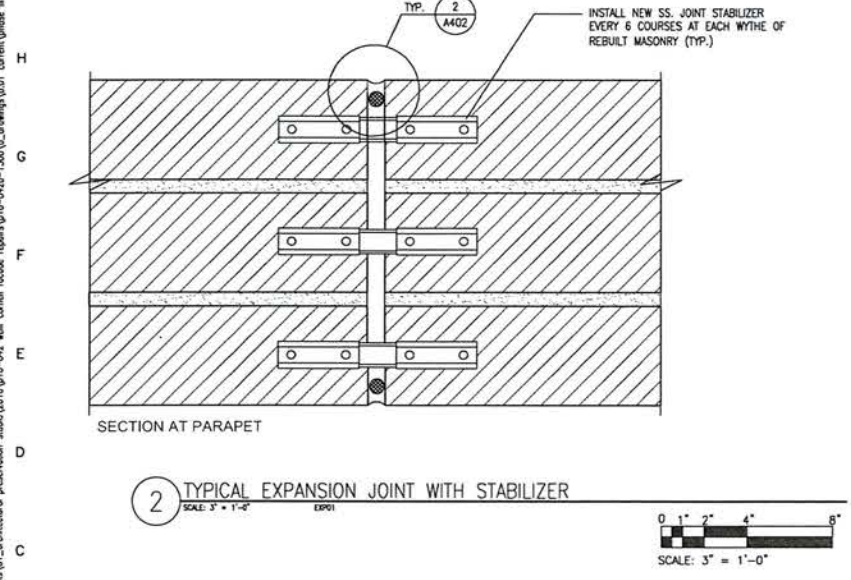
3 ROOF BARRIER FENCE/SECURED TO ROOF ELEVATION (TYPE 1)  
SCALE: 3/4" = 1'-0"



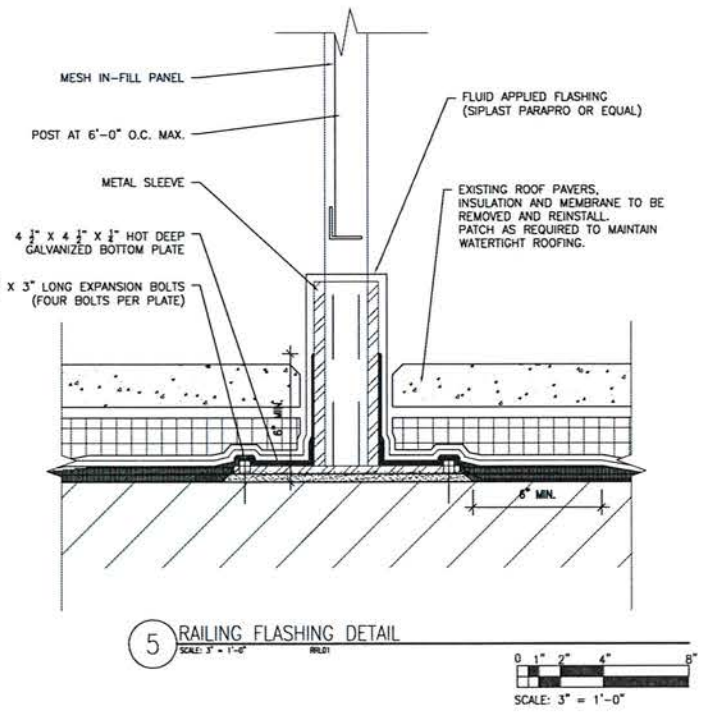
2 TYPICAL EXPANSION JOINT WITH STABILIZER  
SCALE: 3/4" = 1'-0"



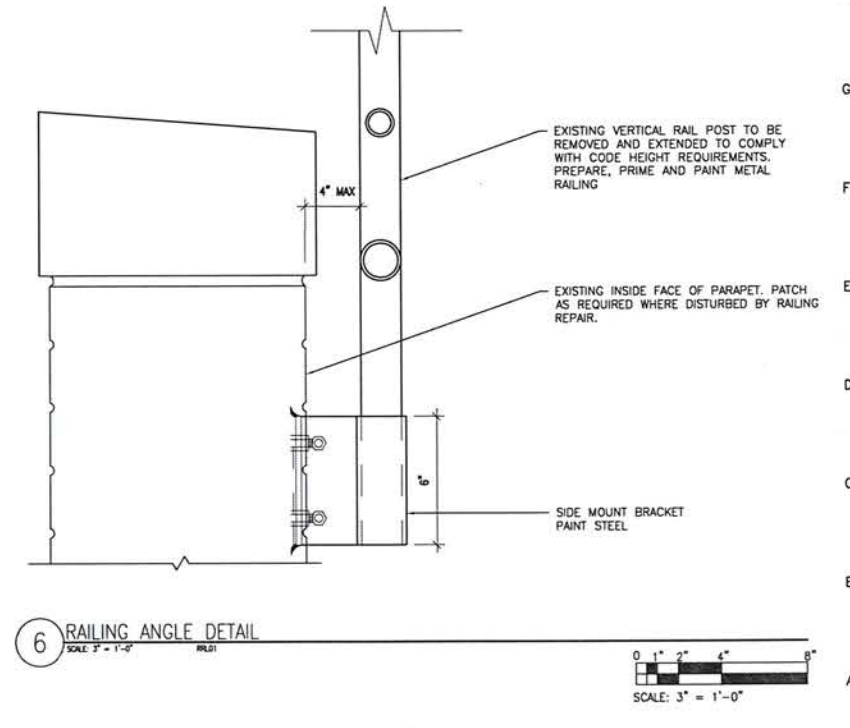
4 ROOF BARRIER FENCE/SECURED TO LOW PARAPET (TYPE 2)  
SCALE: 3/4" = 1'-0"



2 TYPICAL EXPANSION JOINT WITH STABILIZER  
SCALE: 3/4" = 1'-0"



5 RAILING FLASHING DETAIL  
SCALE: 3/4" = 1'-0"

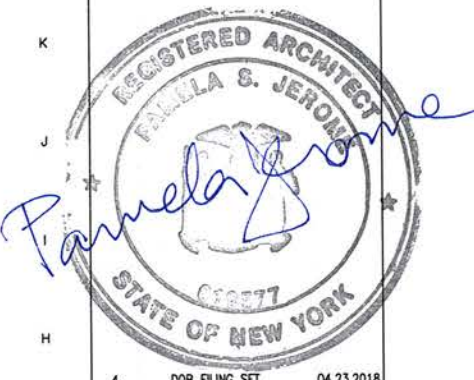


6 RAILING ANGLE DETAIL  
SCALE: 3/4" = 1'-0"

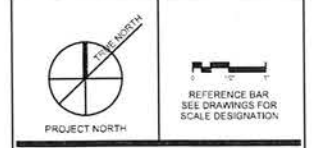
ARCHITECT  
**ARCHITECTURAL PRESERVATION STUDIO, DPC**  
Architectural Preservation & Building Envelope Consulting  
500 Broadway, Suite 510, New York, NY 10012-4220  
212.477.7328 apstudio@apstudio.com

OWNER  
**Weill Cornell Medicine**  
WEILL CORNELL MEDICAL COLLEGE  
445 EAST 69TH STREET, OLIN HALL, SUITE 300  
NEW YORK, NY 10021

LOCATION PLAN  
TAX BLOCK: 1480, LOT: 1  
NYC DCB BIN 1084784 AND 1084785



NO.	SUBMISSIONS/ REVISIONS	DATE
4	DOB FILING SET	04.23.2018
3	DOB CLIENT REVIEW (2)	04.03.2018
2	DOB CLIENT REVIEW	03.20.2018
1	BID SET	07.05.2017



PROJECT  
**FACADE REPAIRS AND CLEANING - 1300 YORK AVE. PHASE III - A & HARKNESS**

1300 YORK AVENUE, NEW YORK, NY 10005  
WCM PROJECT #18-002

DRAWING NAME  
**DETAILS 4**

DATE	04.03.2018
SCALE	AS NOTED
CHECKED BY	PJ/DE
DRAWN BY	PJ/DE
PROJECT NO.	A-404.00
11 OF 11	

2/27/2018 12:24 PM Br: ..... FILE NAME: I:\01\_projects\01\_architectural\_preservation\auto\2018\18-002\_well\_cornell\_facade\_repairs\18-002-1300\18-002a\_drawings\18-002a\_phase\_III-01-01-01-01-01-01-01-01-01-01-01.dwg